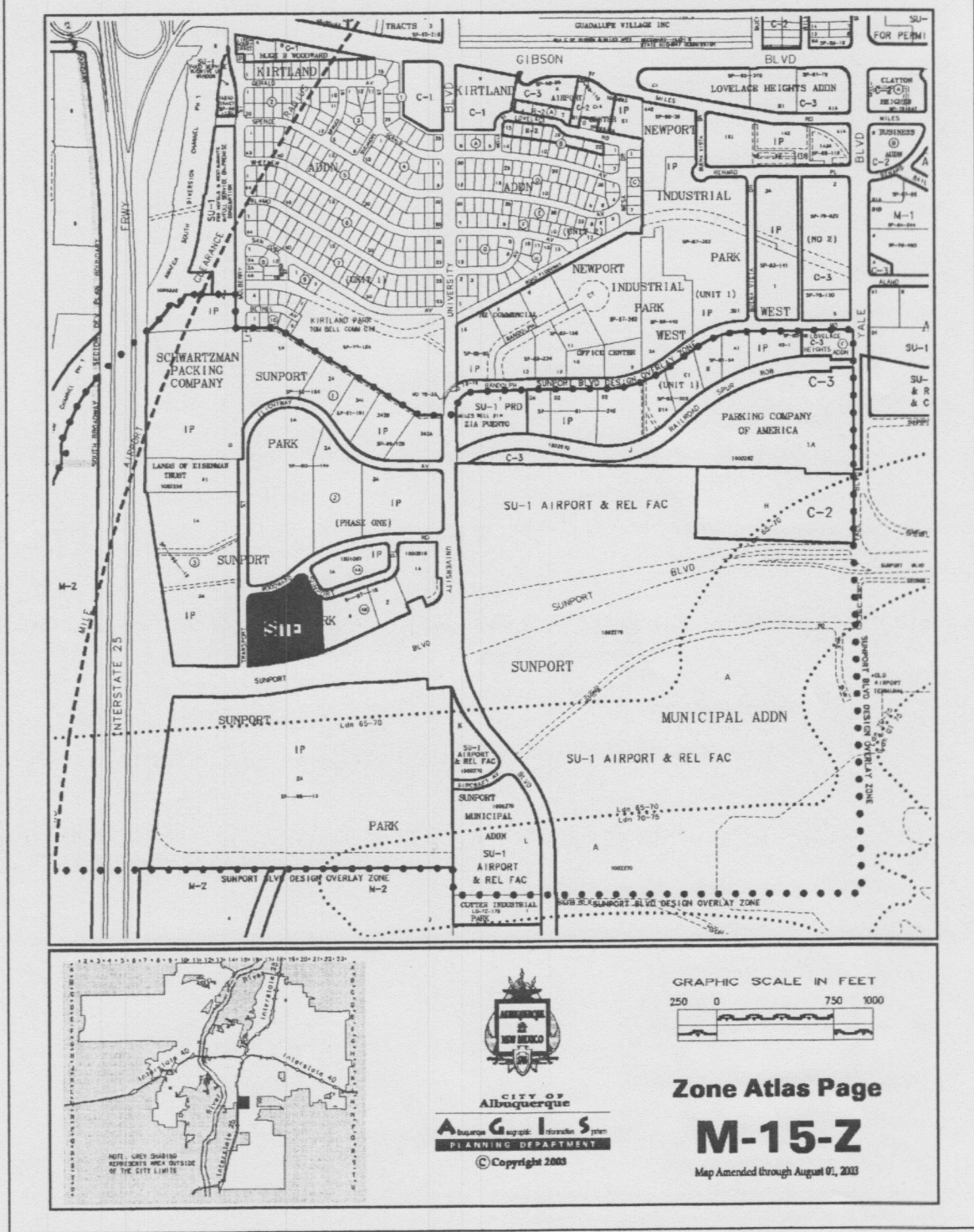
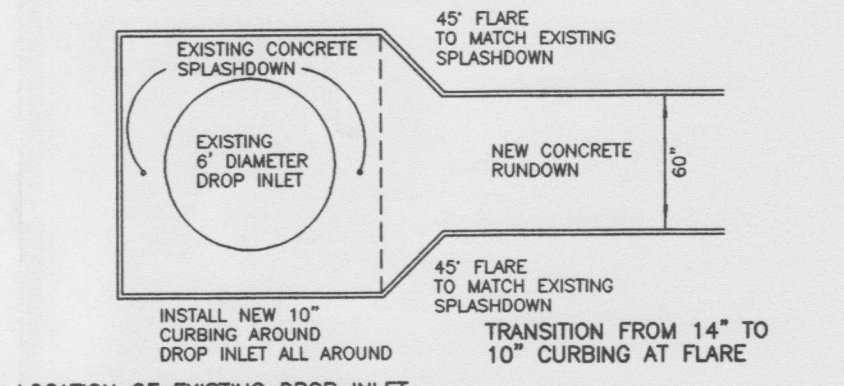


VICINITY MAP



DETAIL 'D'
EXISTING DROP INLET DETAIL



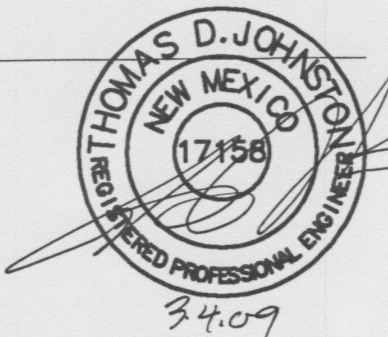
LOCATION OF EXISTING DROP INLET SHALL BE VERIFIED BY CONTRACTOR AND RUNDOWN SHALL BE CONSTRUCTED TO MATCH EXISTING.

INSTALL 6" ASPHALT CURB

INSTALL 6" WATER BLOCK
[NOT INSTALLED]
-UNNECESSARY-

DRAINAGE CERTIFICATE
I, Thomas D. Johnston, NMPE 17158, of the firm of TGC ENGINEERING INC. hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated November 14, 2008. The record information edited onto the original design document has been obtained by Thomas D. Johnston, NMPS 14269, of the firm of WAYJOHN SURVEYING INC. I further certify that I have personally visited the project site on March 4, 2009 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for final Certificate of Occupancy. The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Thomas D. Johnston, NMPE 17158



BENCH MARK

BENCH MARK IS ACS MONUMENT "SDC 12-1" LOCATED 1500' S. OF THE GIBSON BRIDGE OVER AMAFCA SOUTH DIVERSION CHANNEL.
NGVD 1929 ELEVATION: 5047.3

OFFSITE FLOW INFORMATION

DIRECT OFFSITE CONTRIBUTORY FLOW TO THE PROPERTY IS NEGLIGIBLE. HOWEVER, THE CONCRETE RUNDOWN AT THE SOUTHERN EDGE OF THE PROPERTY CONVEYS RUNOFF FROM THE SITE TWO LOTS TO THE EAST OF THE PROPOSED BUILDING SITE. WHILE INFORMATION REGARDING THE EXACT SIZE AND DEVELOPMENT PLAN FOR THIS LOT IS NOT AVAILABLE, IT APPEARS TO BE SIMILAR IN DEVELOPMENT TYPE AS THIS PROPOSED DEVELOPMENT. ASSUMING THIS IS CORRECT, THE ESTIMATED FLOW FROM THE CONCRETE CHANNEL ONTO THE MAINTENANCE ROAD AT THE SOUTH EDGE OF THE SITE IS 15 CFS (SLIGHTLY LOWER THAN PROPOSED SITE SINCE ORIGIN LOT IS SMALLER).

DRAINAGE NOTES:

- ROOF DRAINAGE CONVEYED TO PARKING LOTS OR LANDSCAPING VIA GUTTER AND DOWNSPOUT. SEE ROOF PLAN FOR LOCATIONS.
- ALL ELEVATIONS GIVEN ARE TO TOP OF PROPOSED GRADE

DRAINAGE CONCEPT

THIS SITE CURRENTLY FREE DISCHARGES TO TRANSPORT ST., S.E., SUNPORT BLVD., VIA THE 30' CONSTRUCTION EASEMENT AT THE SOUTH END OF THE SITE, OR TO WOODWARD ROAD, S.E., DEPENDING ON THE LOCATION ON THE SITE. THE PROPOSED CONFIGURATION WOULD ALLOW FOR FREE DISCHARGE OF THE SITE AT TWO CONSTRUCTED LOCATIONS, ONE ON WOODWARD ROAD, S.E. AND ONE ON TRANSPORT ST., S.E. THE AMOUNT OF RUNOFF TO SUNPORT BLVD. WOULD BE GREATLY REDUCED DUE TO THE ADDITION OF CURB AND GUTTER AT THE SOUTH END OF THE DEVELOPED AREA OF THE SITE. NUISANCE RUNOFF SOUTH OF THE NEW CURB AND GUTTER AT THE SOUTH END OF THE SITE WOULD STILL BE ALLOWED TO DRAIN TOWARD SUNPORT BLVD., S.E.

NOTICE TO CONTRACTOR

PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACES AND ARE PROVIDED FOR THE PURPOSE OF SHOWING FLOW ROUTING.

CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF SEDIMENT ONTO ADJOINING PUBLIC RIGHTS-OF-WAY DURING CONSTRUCTION AND FOR THE REMOVAL OF ANY SEDIMENT DEPOSITED IN PUBLIC RIGHT-OF-WAY.

CONTRACTOR SHALL OBTAIN A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO ANY GRADING OR CONSTRUCTION.

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AN EPA NPDES, PHASE 2 PERMIT. DUE TO THE SIZE OF THE SITE, A SWPPP WILL BE REQUIRED.

CONTRACTOR SHALL VERIFY EXISTING GRADES AT SOUTH END OF SITE WHERE NEW CONC. CHANNEL TO BE INSTALLED. SEVERE EROSION MAY NOT BE REFLECTED IN EXISTING TOPOGRAPHIC DATA.

OTHER NOTES

- RETAINING WALL DESIGN BY OTHERS
- TRAFFIC CIRCULATION PLAN BY OTHERS

ONSITE HYDROLOGY

THE TABLE BELOW SHOWS THE FULLY DEVELOPED CONDITIONS OF THE SITE. THE FIRST PHASE OF DEVELOPMENT (SHOWN ON THIS SHEET) WILL GENERATE AN ADDITIONAL 5.4 CFS OF RUNOFF FOR THE 100-YR STORM EVENT ABOVE UNDEVELOPED RUNOFF CONDITIONS.

DRAINAGE DATA: LOT 4, BLOCK 4-B SUNPORT PARK
THIS SITE LIES WITHIN PRECIPITATION ZONE 2

Condition	Return Table 4 (Years)	Treatment Type	Area (sq. ft.)	Precip. (in.)	Runoff Table A-9 (cfs/ac)	Volume (cu. Ft.)	Rate (cfs)
EXISTING	100	A	0	0.53	1.56	0.0	0.00
		B	213,647	0.78	2.28	13,887.1	11.18
		C	0	1.13	3.14	0.0	0.00
		D	0	2.12	4.70	0.0	0.00
EXISTING	10	A	0	0.13	0.38	0.0	0.00
		B	213,647	0.28	0.95	4,985.1	4.66
		C	0	0.52	1.71	0.0	0.00
		D	0	1.34	3.14	0.0	0.00
DEVELOPED	100	A	0	0.53	1.56	0.0	0.00
		B	60,978	0.78	2.28	3,963.6	3.19
		C	10,500	1.13	3.14	988.8	0.76
		D	142,169	2.12	4.70	25,116.5	15.34
DEVELOPED	10	A	0	0.13	0.38	0.0	0.00
		B	60,978	0.28	0.95	1,422.8	1.33
		C	10,500	0.52	1.71	455.0	0.41
		D	142,169	1.34	3.14	15,875.5	10.25
TOTAL (EXT)	100					13,887.1	11.2
	10					4,985.1	4.7
TOTAL (DEV)	100					30,068.8	19.3
	10					17,753.4	12.0

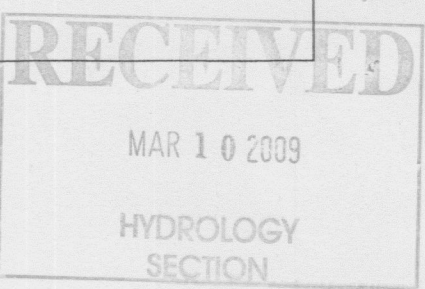
ASSUMES THAT DEVELOPMENT ON WESTERN LOT IS SIMILAR TO EASTERN LOT DEVELOPMENT.

THE PROPOSED DISCHARGE TO WOODWARD AVE. = 5.0 CFS FOR 100 YR. STORM
PROPOSED DISCHARGE TO TRANSPORT ST. VIA DRAIN CHANNEL = 14.3 CFS

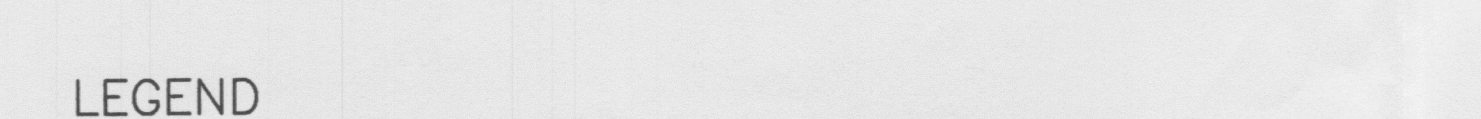
DRAINAGE AND GRADING PLAN

STAYBRIDGE
LOT 4, BLOCK 4-B, SUNPORT PARK
FOR: 786 SUNPORT LLC

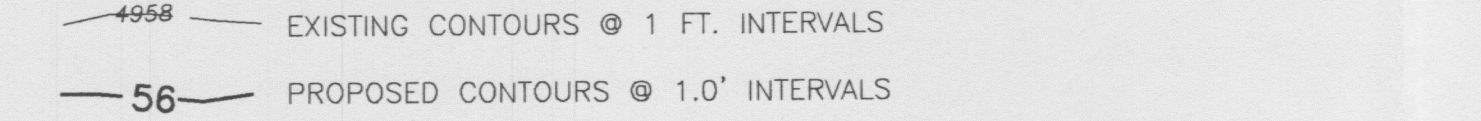
TGC ENGINEERING, INC. (505)266-7256
330 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87108
Fax: (505) 255-2887



DETAIL 'B'
SOLID WASTE ENCLOSURE DETAIL



DETAIL 'C'
SOLID WASTE ENCLOSURE DETAIL



EXISTENCE OF STORM SEWER FIELD VERIFIED BY WAYJOHN SURVEYING 1/10/06

EXISTING 6" DIA. DROP INLET (SEE DETAIL D)

CONC. RUNDOWN SEE DETAIL 'A'

CONC. RUNDOWN SEE DETAIL 'A'

CONC. RUNDOWN SEE DETAIL 'A'

CONC. RUNDOWN SEE DETAIL 'A'

CONC. RUNDOWN SEE DETAIL 'A'

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CONC. RUNDOWN SEE DETAIL 'A'

DETAIL 'A'
CONCRETE CHANNEL CROSS SECTION

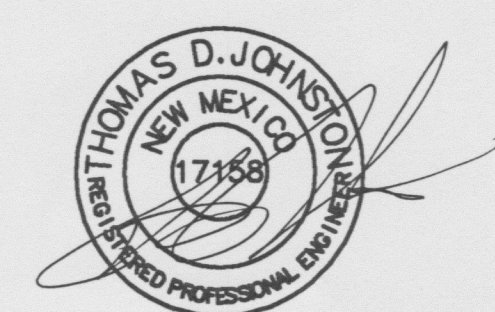


DRAINAGE CHANNEL CAPACITY CALCULATION:
USE MANNINGS EQUATION
 $Q = (1.49/n)(A)(R^h)(S)$
 $n = 0.013$ FOR CONCRETE
 $Rh = A/P$ (RECTANGULAR CHANNEL, FULL FLOW CONDITIONS) = 0.625 FT.
 $S = 0.05$ FT/FT (AT LOWEST SLOPE)
 $A = 4.167$ SQ.FT. (RECTANGULAR CHANNEL)
 $Q(CAPACITY) = 78.1$ CFS

FLOW CAPACITY >> THAN MAXIMUM CALCULATED FLOW THRU CHANNEL ($Q_{max} = 34.3$ cfs)

I, THOMAS JOHNSTON, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 17158, DO HEREBY CERTIFY THAT I INSPECTED THIS SITE ON JANUARY 10, 2006, AND THAT, AS OF THAT DATE, THERE HAD BEEN NO RECENT ALTERATION OF GRADE OR EVIDENCE OF GRADING OPERATIONS ON THIS SITE.

THOMAS JOHNSTON, NMPE NO. 17158



SCALE: 1 INCH = 40 FEET

11-14-06

LEGAL DESCRIPTION AND FLOOD ZONE

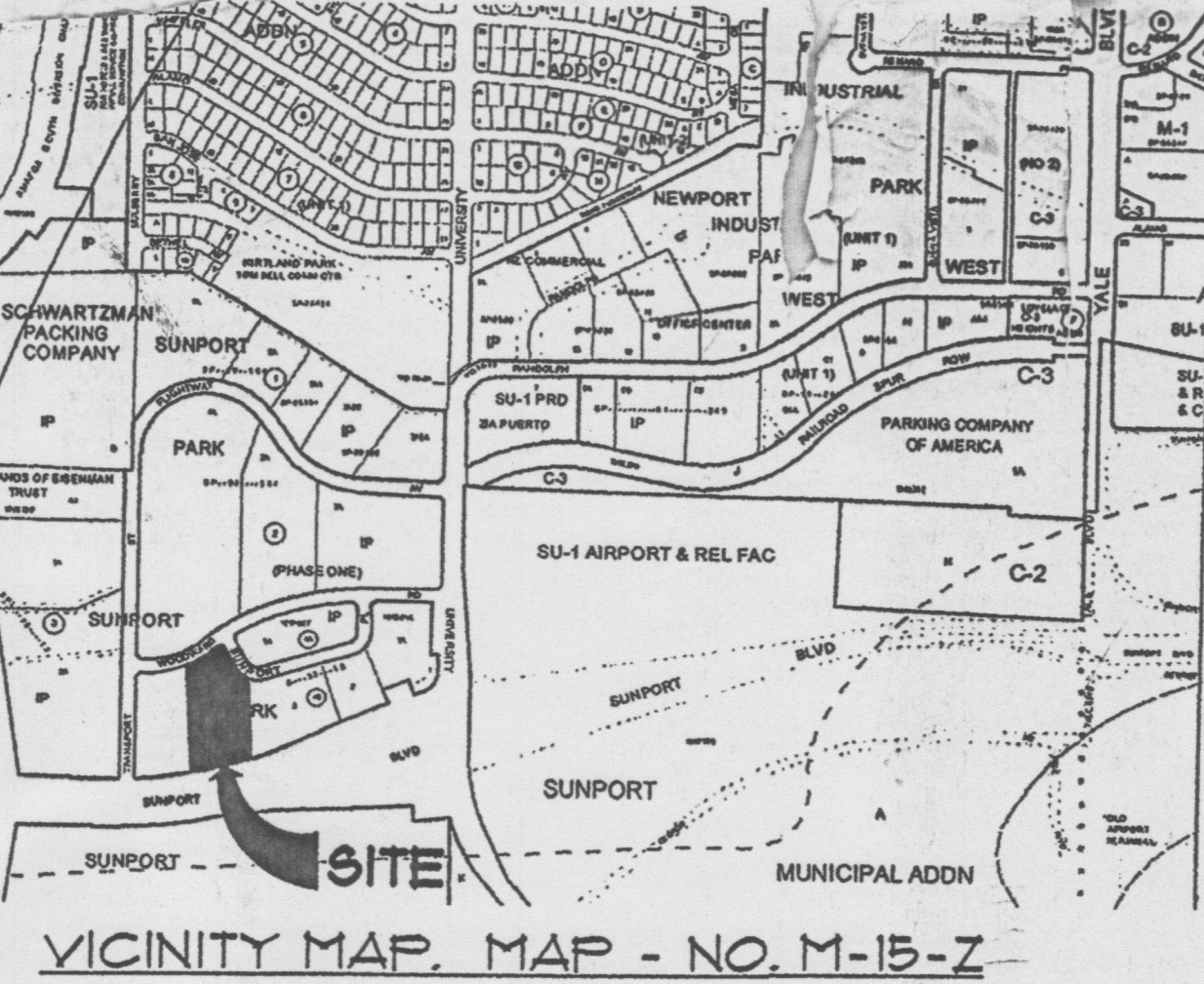
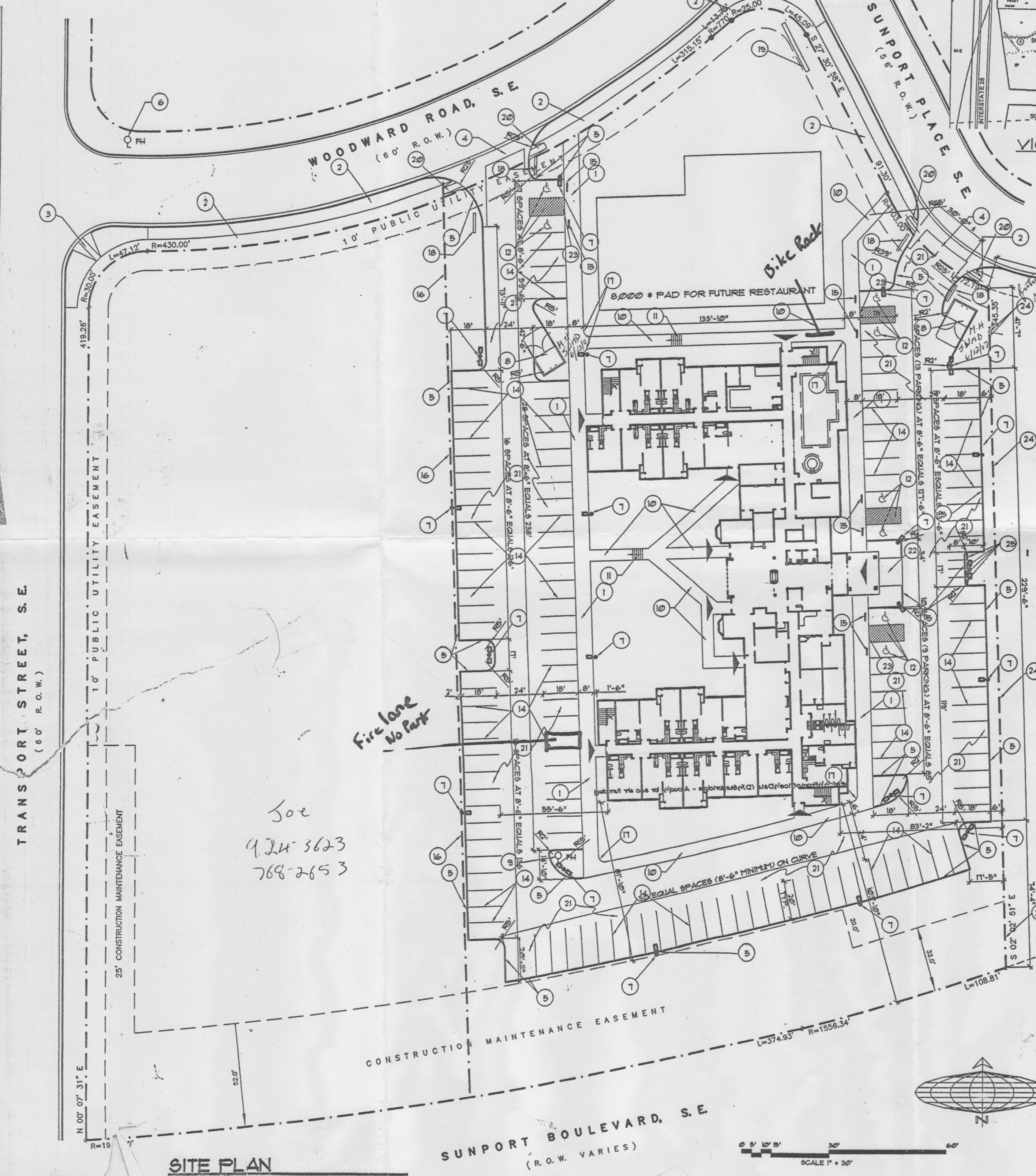
Lot numbered Four (4) in Block numbered Four-B (4-B) of SUNPORT PARK, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 7, 1997, in Plat Book 97C, folio 73.

The above described property is located within Zone "X" (No flood hazard), Community Panel No. 350002 0143. E, dated November 19, 2003, and is not located within a Special Flood Hazard Boundary indicated by FEMA Flood Insurance Rate Maps. Determination of Flood Hazard is by graphic plotting only.

PARKING CALCULATIONS

100 GUEST ROOMS -- 1 SPACE PER ROOM = 100 SPACES
 RESTAURANT -- RAD SITE (8000 SQ. FT. BLDG. AREA) -- 8000/1000 = 8 SPACES
 TOTAL SPACES REQUIRED 140 SPACES
 TOTAL SPACES PROVIDED 140 SPACES
 INCLUDED HANDICAP SPACES 8 SPACES (ALL VAN ACCESSIBLE)
 MOTORCYCLE SPACES REQUIRED 4 SPACES

839-6625

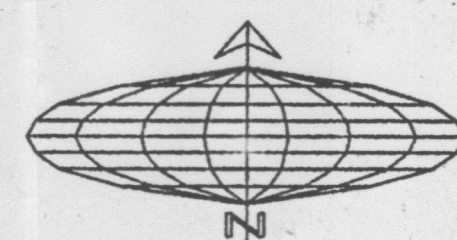


VICINITY MAP, MAP - NO. M-15-Z

EASTERN 1/2 LOT 4, BLOCK 4-B
 SUNPORT PARK
 SECTION 33, T. 10 N. R. 3 E. N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 (SUMMARY PLAN WILL BE FILED
 TO DIVIDE LOT)

▲ DENOTES ENTRANCE TO BUILDING

- 1 8'-0" CONCRETE SIDEWALK WHEN ADJACENT TO PARKING.
- 2 6'-0" CONCRETE SIDEWALK TO ROW SIDE OF PROPERTY LINE. PER COA PTL 2420
- 3 EXISTING HANDICAP WHEELCHAIR RAMP.
- 4 REMOVE EXISTING CONCRETE CURB AND GUTTER. INSTALL NEW ENTRANCE AS PER CITY OF ALBUQUERQUE DRAWING NO. 2426.
- 5 6" STAND UP CONCRETE HEADER CURB. SEE DETAIL.
- 6 EXISTING CITY FIRE HYDRANTS.
- 7 NEW PARKING AND BUILDING AREA LIGHTS. SEE DETAIL.
- 8 TRASH ENCLOSURE - SEE DETAIL.
- 9 PROPOSED NEW FIRE HYDRANT PER CITY OF ALBUQUERQUE STANDARDS.
- 10 12" CONCRETE WALK.
- 11 CONCRETE STEPS IN SIDEWALK. REFER TO DRAINAGE PLANS.
- 12 3" WIDE BLUE HANDICAP STRIPING.
- 13 OMITTED -- NOT USED
- 14 3" WIDE YELLOW PARKING SPACE STRIPING.
- 15 12" X 18" BLUE AND WHITE HANDICAP SIGN ON STEEL POST. 60" TO BOTTOM AFG.
- 16 NEW PROPERTY LINE ADDED BY SUMMARY PLAN.
- 17 36" RADIUS AT SIDEWALK INTERSECTIONS OR CHANGE OF DIRECTIONS.
- 18 ENTRANCE AND EXIT SIGNS. 24" H X 48" W X 36" H. (NON-ILLUMINATED)
- 19 ILLUMINATED SITE SIGN. SEE DETAIL.
- 20 INSTALL NEW HANDICAP RAMP FOR WHEELCHAIR ACCESS.
- 21 ASPHALT PAVING PER CITY OF ALBUQUERQUE SPEC.
- 22 12" WIDE CONCRETE SIDEWALK (COLORED-PATTERNED CONCRETE)
- 23 ASPHALT AND CONCRETE SIDEWALK FLUSH NO HANDICAP RAMP REQUIRED.
- 24 EXISTING RETAINER WALL W/ 42" PIPE RAILING ABOVE APPROX T-0" AFG. NEW 48" HIGH RETAINER WALL PER DRAINAGE PLANS.
- 25 12" X 18" MOTORCYCLE SPACE SIGN MOUNTED SAME AS HANDICAP SIGN. REFER TO DETAIL ON ELEMENT DETAILS SHEET.



SCALE 1" = 30'

DEVELOPMENT WITHIN CITY-DESIGNATED LANDFILL BUFFER ZONES.

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM" GUIDELINES FOR DEVELOPMENT WITHIN 1000 FEET OF LANDFILLS) SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

A. AS PER VINYARD 4 ASSOC. JOB NO 05-1-453, DATED JANUARY 6, 2006 AND REVISED BY LETTER DATED AUGUST 11, 2006, THE FOLLOWING SHALL BE DONE TO ACCOMMODATE THEIR RECOMMENDATIONS: VINYARD 4 ASSOC. RECOMMENDS THAT UTILITY TRENCH VENTING BARRIERS SHALL CONSIST OF 2-4 FOOT LONG, ROUNDED (NOT CRUSHED) 15 INCH DIAMETER GRAVEL PILES THAT EXTEND TO THE FULL HEIGHT AND THE FULL WIDTH OF THE UTILITY TRENCH. 1-ONCE NON-WOVEN FILTER FABRIC SHOULD BE PLACED OVER THE GRAVEL. LANDSCAPING MATERIAL (GRAVEL, BARK, ETC) SHOULD BE PLACED OVER THE FILTER FABRIC. A 2" DIAMETER PERFORATED VENT PIPE (PVC OR METAL) SHALL EXTEND TO THE MID-POINT OF THE GRAVEL. PERFORATIONS SHALL BE 1/2" DIAMETER (MAXIMUM) ON 12" CENTERS ALL AROUND THE PIPE. ABOVE GROUND, THE VENT PIPE SHALL BE METAL OR UV RESISTANT PVC. THE TWO VENTING AREAS IN PERIMETER LANDSCAPING ARE CONSIDERED TO PRESENT A LOW POTENTIAL FOR PEDESTRIAN EXPOSURE. THEREFORE, THE VENT PIPES SHALL TERMINATE IN GOOSENECKS. THE GOOSENECK PIPE OPENINGS SHOULD BE COVERED WITH SCREEN AND OPEN BETWEEN 1-3 FEET ABOVE THE GROUND. UTILITY PENETRATIONS AND CRACKS THROUGH THE BUILDING SLAB SHOULD BE SEALED WITH NON-HARDENING CAULK. SECONDARY UTILITIES (SUCH AS ELECTRIC LINES TO SIGNS, LIGHT POLES AND SIGN POSTS, ETC) DO NOT NEED TO BE VENTED.

THE SLABS SHALL BE UNDERLAIN BY A 20 MIL. PLASTIC BARRIER. THE BARRIER SHOULD BE ATTACHED TO THE CONCRETE STEPS/STAIRS USING AN APPROPRIATE ADHESIVE. ALL UTILITY PENETRATIONS THROUGH THE PLASTIC BARRIER AND THE CONCRETE SLABS SHALL BE CAREFULLY SEALED. IF DESIRED 2" OF CLEAN SAND MAY BE PLACED OVER THE PLASTIC BARRIER TO AID SLAB CURING. 8" OF CLEAN 1/2" DIAMETER ROUNDED GRAVEL SHOULD BE PLACED BELOW THE PLASTIC BARRIER. A SYSTEM OF 4" DIAMETER SCHEDULE 80 PERFORATED PVC PIPE SHOULD BE PLACED AT THE MID-POINT OF THE GRAVEL LAYER. THE PVC SHOULD BE PERFORATED WITH MINIMUM RADIAL SPACING OF 120" WITH 3/8" TO 1/2" DIAMETER HOLES AT NO MORE THAN 12" ON CENTERS. THE 4" PVC PIPE SHOULD BE SPACED AT NO MORE THAN 80'-0" ON CENTERS. INLETS SHOULD BE PLACED OUTSIDE OF THE BUILDING IN A LANDSCAPED AREAS AT LEAST 25 FEET AWAY FROM ANY OF THE BUILDING'S AIR INTAKES. THE INLET TO THE PERFORATED PIPE SYSTEM SHOULD CONSIST OF A GOOSENECK PIPE WITH AN OPENING BETWEEN 1-3 FEET ABOVE THE GROUND. PIPE EXPOSED ABOVE THE GROUND SHOULD BE GALVANIZED METAL. THE INLET SHOULD BE COVERED WITH WIRE SCREEN TO PREVENT RODENTS FROM ENTERING THE PERFORATED PIPE SYSTEM. THE 4" DIAMETER PVC PIPES BENEATH THE SLABS SHOULD BE MANIFOLDED TOGETHER. THE PERFORATED PIPE SYSTEM SHOULD BE CONNECTED VERTICAL RISERS THROUGH THE WALLS OF THE BUILDING THAT VENT TO THE ATMOSPHERE AT LEAST 2' ABOVE THE ROOF OF THE BUILDING. OUTLET PIPE THAT IS EXPOSED ABOVE THE ROOF SHOULD BE GALVANIZED METAL. PASSIVE WIND TURBINES SHOULD BE ATTACHED TO THE TOPS OF THE EXHAUST PIPES.

CONSTRUCTION OF THE VENTING BARRIERS, THE VENTING SYSTEM UNDERNEATH THE SLABS, AND THE MEMBRANE SHOULD BE DOCUMENTED BY PHOTOGRAPHING, INSPECTION AND PHOTOGRAPHING OF THE METHANE ENGINEERING CONTROLS CAN BE PROVIDED BY VINYARD 4 ASSOCIATES AT A CHARGE. UPON COMPLETION OF PROJECT PROVIDE A LETTER CERTIFYING THAT THE LANDFILL GAS BARRIERS WERE CONSTRUCTED ACCORDING TO RECOMMENDATION BY A QUALIFIED ENVIRONMENTAL ENGINEER SUCH AS VINYARD 4 ASSOCIATES, INC.

FIRST LEVEL HEATED	20,338	SQ. FT.
SECOND LEVEL HEATED	19,108	SQ. FT.
THIRD LEVEL HEATED	20,128	SQ. FT.
FOURTH LEVEL HEATED	20,128	SQ. FT.
TOTAL HEATED	80,302	SQ. FT.
COVERED ENTRY	248	SQ. FT.
TOTAL AREA UNDER ROOF	80,550	SQ. FT.

PROJECT NUMBER: 1004985

Application Number: 06-00916

Is an infrastructure List required? () Yes ☒ No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i> Traffic Engineer, Transportation Division	8-24-06 Date
<i>[Signature]</i> Water Utility Department	8-23-06 Date
<i>[Signature]</i> Parks and Recreation Department	8/23/06 Date
<i>[Signature]</i> City Engineer	8/23/06 Date
<i>[Signature]</i> Environmental Health Department (conditional)	8/22/06 Date
<i>[Signature]</i> Solid Waste Management	8/24/06 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	10/6/06 Date

* Environmental Health, if necessary
 5-13-05

HYDROLOGY
 SECTION



JIM MEDLEY, Architect AIA
 No. 2042
 3100 Christine N. E. Albuquerque, NM 87111
 Phone (505) 292-3514 Fax (505) 294-5593

Project No. _____
 Date August 06
 Drawn by JEM
 Checked by JEM

TNJ Construction & Management, Inc.
 Albuquerque, New Mexico

No.	Revision / Issue	Date
1		
2		

SITE PLAN
 SITE DEVELOPMENT
 PLAN FOR BUILDING

Sheet: C1

GENERAL NOTES

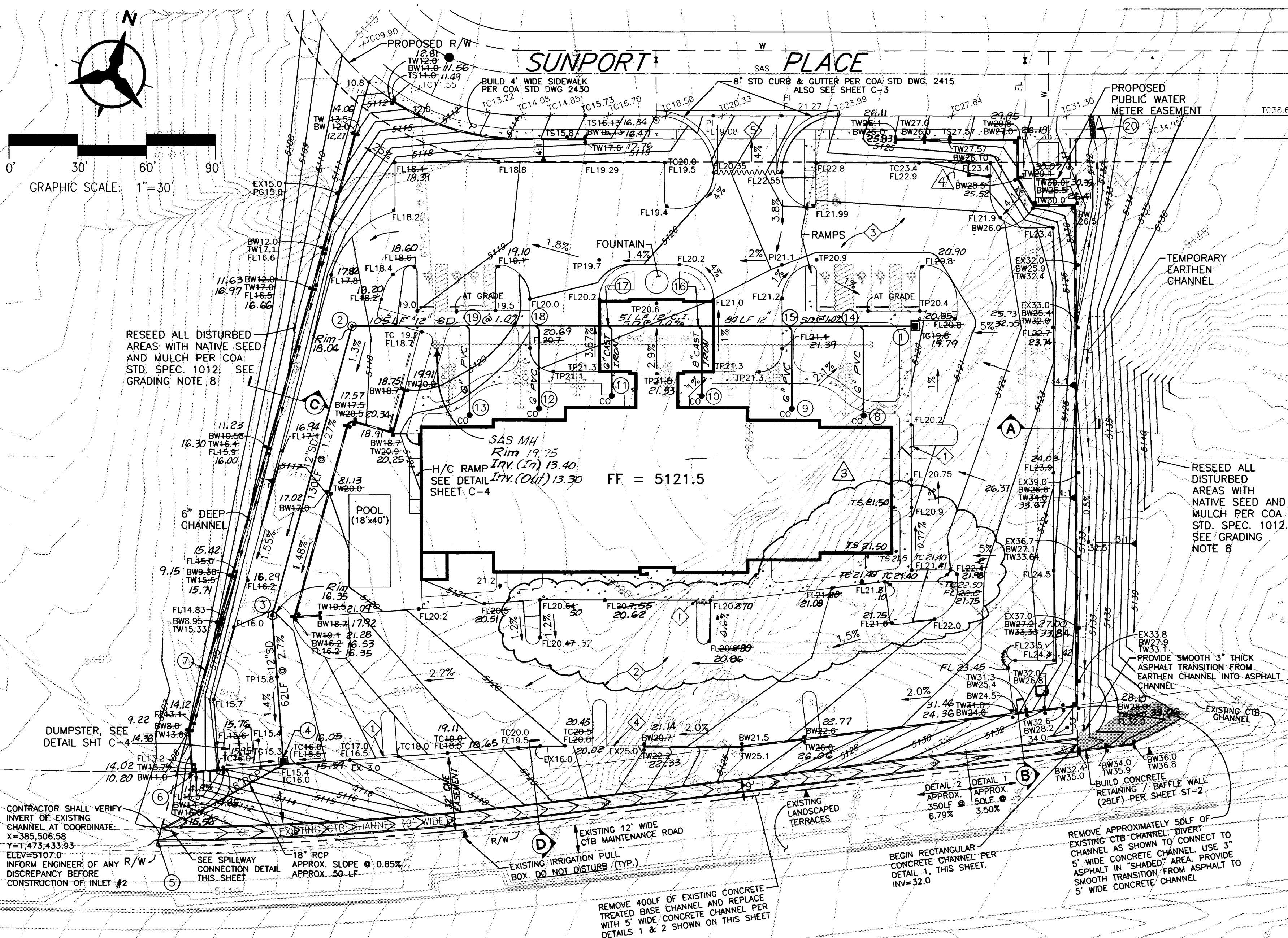
- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT THE UTILITY LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADE AT THE END AND BEGINNING OF EACH DAY.

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION" AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT UTILITY LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO GRADING, ALL VEGETATION, DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE. TOPSOIL STRIPPINGS SHALL BE DISPOSED OF OFF-SITE OR STOCKPILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- CONTRACTOR SHALL RESEED ALL DISTURBED AREAS PER COA STANDARD SPECIFICATIONS 1012.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY INSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES PER DETAIL ON SHEET C-4 AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND ARE ADJUSTED FOR CURBS, MEDIANS AND ISLANDS.
- SEE SHEET C-3 FOR ADDITIONAL GEOMETRY AND FLOWLINE ELEVATIONS.

PAVING KEYED NOTES

- MAINTAIN A MINIMUM OF ONE FOOT CLEARANCE FROM FACE TO FACE OF CURB. SEE DETAIL 7 SHEET C-4.
- SEE SHEET C-3 FOR PAVEMENT SECTIONS.
- SEE SHEET C-3 FOR LIMITS OF HEAVY DUTY PAVEMENT INSTALLATION.
- INSTALL 6" STD. CURB TYPICAL FOR ENTIRE SITE UNLESS OTHERWISE NOTED ON PLAN. SEE CURB DETAIL ON SHEET C-4.
- SAW CUT AND REMOVE APPROX. 80 LF FOR 8" STD CURB & GUTTER AND INSTALL VALLEY GUTTER PER COA STD DWG. 2420



SUNPORT

BOULEVARD

GRADING & DRAINAGE KEYED NOTES

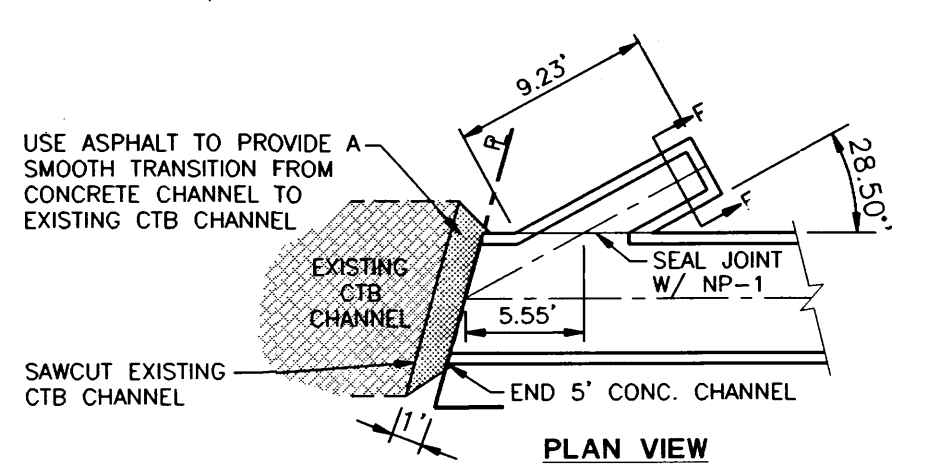
- SUMP INLET #1: INSTALL (1) TYPE "D" INLET PER COA STD. DWG. 2206: TO=15.8, INV.=16.1
- STORM DRAIN MANHOLE #1: INSTALL (1) 4' DIA. TYPE "C" MANHOLE PER COA STD. DWG. 2101: RIM=15.5, INV. (IN)=14.5, (OUT)=13.5
- STORM DRAIN MANHOLE #2: INSTALL (1) 4' DIA. TYPE "C" MANHOLE PER COA STD. DWG. 2101: RIM=14.9, INV. (IN)=14.9, (OUT)=14.9
- SUMP INLET #2: INSTALL (1) TYPE "D" INLET PER COA STD. DWG. 2206: TO=14.9, INV. (IN)=14.9, (OUT)=14.9
- END CONCRETE CHANNEL, INV.=5106.80, (DETAIL 2). USE ASPHALT PAVING TO PROVIDE A SMOOTH TRANSITION TO THE EXISTING CTB CHANNEL. SEE PLAN VIEW OF SPILLWAY DETAIL THIS SHEET.
- INSTALL (2) TURNED OUT BLOCKS IN RETAINING WALL TO ALLOW RUNOFF FROM LANDSCAPE AREA (TRENCH INVERT) TO ESCAPE.
- SEE SHEETS S-1 AND S-2 FOR RETAINING WALL DETAILS.
- INSTALL 6" STORM DRAIN AND CLEAN OUT (INV. C.O.=17.5)
- INSTALL 6" STORM DRAIN AND CLEAN OUT (INV. C.O.=17.5)
- INSTALL 6" STORM DRAIN AND CLEAN OUT (INV. C.O.=17.5)
- INSTALL 6" STORM DRAIN AND CLEAN OUT (INV. C.O.=17.5)
- INSTALL 6" STORM DRAIN AND CLEAN OUT (INV. C.O.=17.5)
- INSTALL 12"x6" WYE, CONNECT TO SDR35 PVC WITH FERNCO FLEXIBLE COUPLER OR ENGINEER'S APPROVED EQUAL (INV. 12'=14.05)
- INSTALL 12"x6" WYE, CONNECT TO SDR35 PVC WITH FERNCO FLEXIBLE COUPLER OR ENGINEER'S APPROVED EQUAL (INV. 12'=15.45)
- INSTALL 12"x6" WYE, CONNECT TO SDR35 PVC WITH FERNCO FLEXIBLE COUPLER OR ENGINEER'S APPROVED EQUAL (INV. 12'=15.05)
- INSTALL 12"x6" WYE, CONNECT TO SDR35 PVC WITH FERNCO FLEXIBLE COUPLER OR ENGINEER'S APPROVED EQUAL (INV. 12'=14.66)

GRADING & DRAINAGE KEYED NOTES

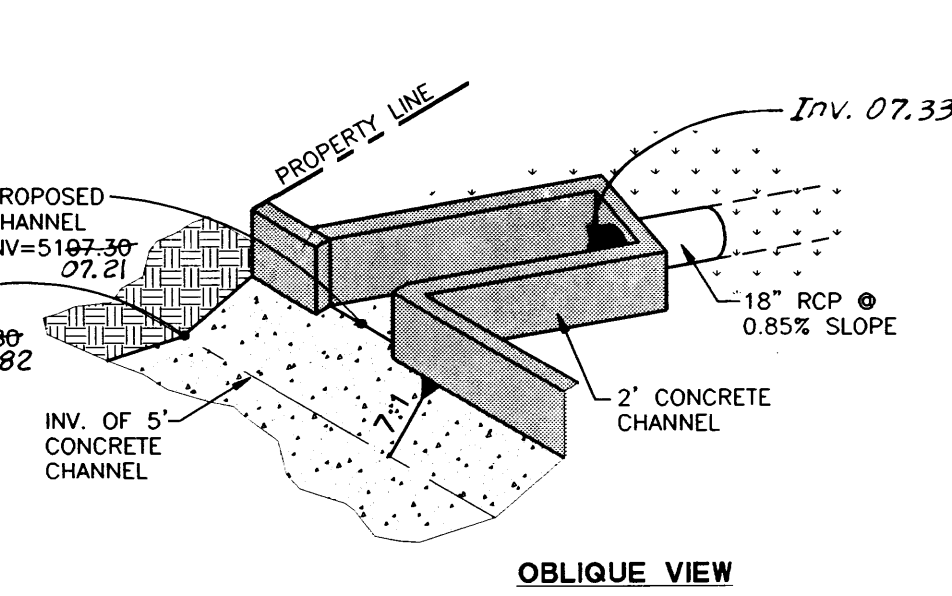
- INSTALL 12"x6" WYE, CONNECT TO SDR35 PVC WITH FERNCO FLEXIBLE COUPLER OR ENGINEER'S APPROVED EQUAL (INV. 12'=14.35)
- INSTALL 12"x6" WYE, CONNECT TO SDR35 PVC WITH FERNCO FLEXIBLE COUPLER OR ENGINEER'S APPROVED EQUAL (INV. 12'=14.05)
- BUILD 12" WIDE SINGLE SIDEWALK CULVERT PER COA STD DWG 2236

ACCEPTABLE MATERIALS FOR STORM DRAIN

- HIGH DENSITY POLYETHYLENE PER HANCOB H-Q SPECIFICATION (SMOOTH-INTERIOR) OR ENGINEER'S APPROVED EQUAL.
- RCP CLASS III
- SDR35, PVC FOR STORM DRAIN PIPE LESS THAN 12" DIA.



PLAN VIEW



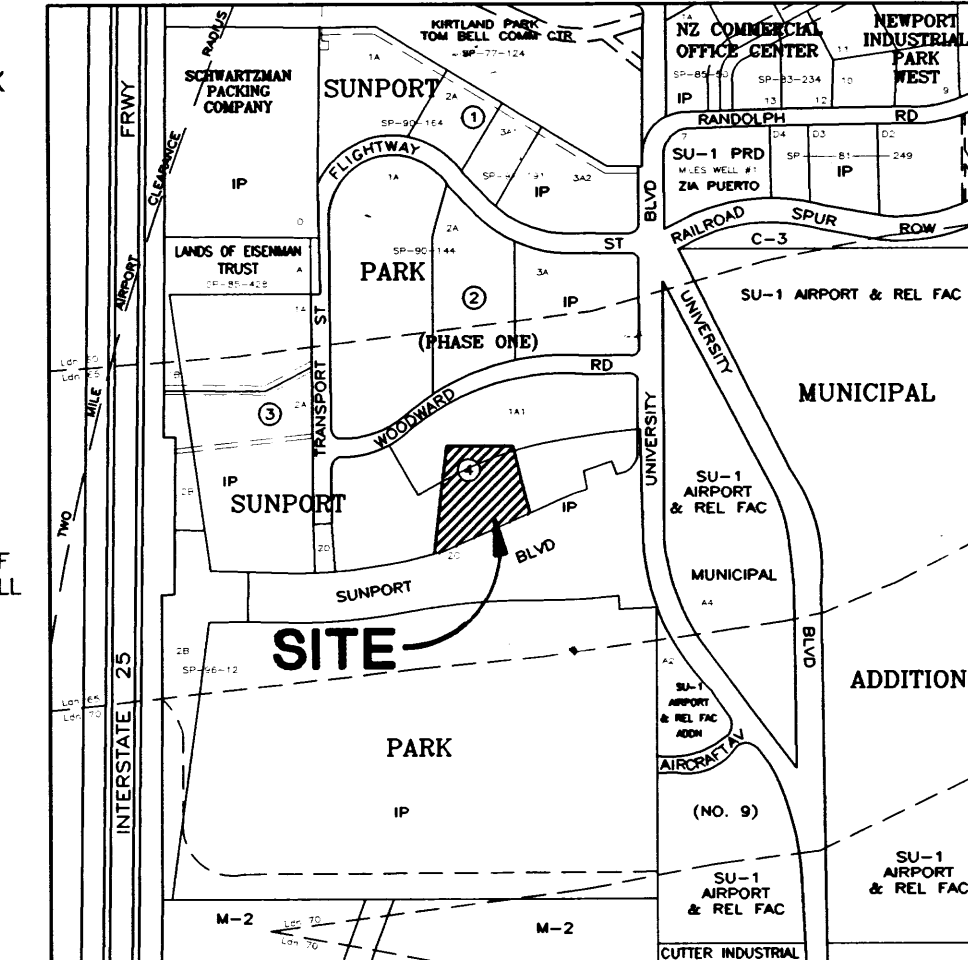
OBLIQUE VIEW

SPILLWAY DETAILS

N.T.S.

LEGAL DESCRIPTION

LOT 3 OF BLOCK 4 OF SUNPORT PARK ALBUQUERQUE, NEW MEXICO.
SEE SHEET C-3 FOR BENCHMARK LOCATION.



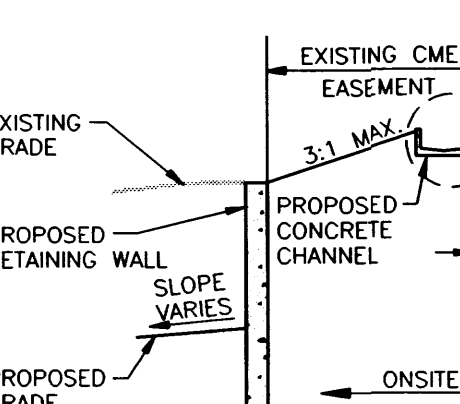
VICINITY MAP
ZONE ATLAS
MAP NO. M-15-Z

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- EXISTING SWALE
- EXISTING SPOT ELEVATION
- EXISTING EASEMENT
- EXISTING SANITARY SEWER
- EXISTING SANITARY SEWER MH
- EXISTING WATER LINE
- EXISTING VALVE
- EXISTING FIRE HYDRANT
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY SEWER MH
- PROPOSED WATER LINE
- PROPOSED VALVE
- PROPOSED REDUCER
- PROPOSED FIRE LINE
- PROPOSED HYDRANT
- PROPOSED FIRE DEPARTMENT CONNECTION
- PROPOSED UTILITY CAP
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN MH
- PROPOSED CLEANOUT (CO)
- PROPOSED STORM DRAIN INLET
- PROPOSED SPOT ELEVATION
- TC=TOP OF CURB, FL=FLOW LINE
- TW=TOP OF WALL, BW=BOTTOM OF WALL
- EX=EXISTING, TP=TOP OF PAVEMENT, TG=TOP OF GRADE
- PROPOSED DIRECTION OF FLOW
- KEYED NOTE
- WATER BLOCK
- PROPOSED RETAINING WALL
- EXISTING CTB CHANNEL
- EXISTING IRRIGATION PULL BOX (NOT TO BE DISTURBED)
- AS-BUILT ELEVATION

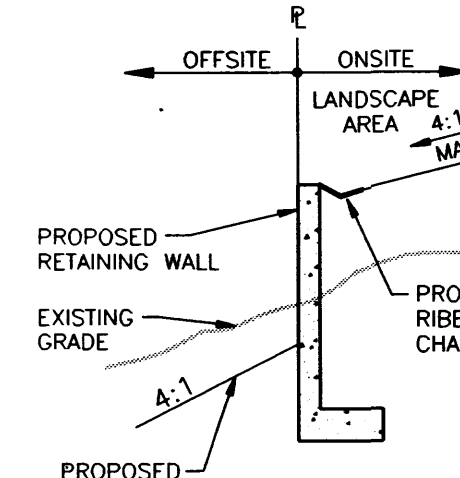
SECTION "A"

N.T.S.



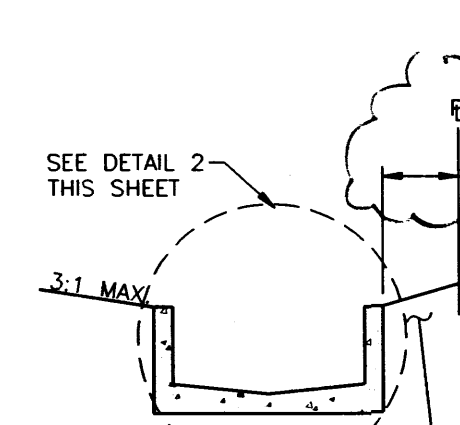
SECTION "B"

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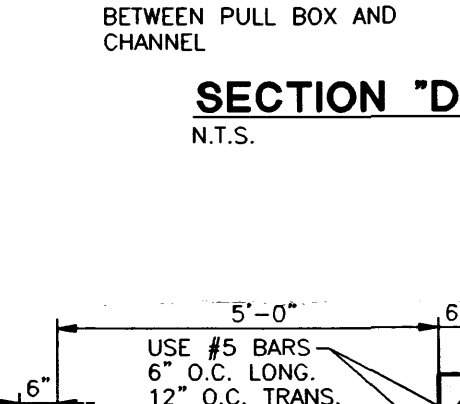
SECTION "C"

N.T.S.



SECTION "D"

N.T.S.



DETAIL 1

N.T.S.

PER COA STD. DWG. 2260

TYPE "B" EXCEPT AS NOTED

PROVIDE EXPANSION JOINT

12" O.C. & SEAL W/ NF-1

DISCONTINUE W.W.F. AT JOINT

6" MIN. THICKNESS

FC=3000PSI

4'-2" WELDED WIRE FABRIC GR-60

DETAIL 2

N.T.S.

PROVIDE EXPANSION JOINT

12" O.C. & SEAL W/ NF-1

DISCONTINUE W.W.F. AT JOINT

6" MIN. THICKNESS

FC=3000PSI

4'-2" WELDED WIRE FABRIC GR-60

DETAIL 2

N.T.S.

DRAINAGE CERTIFICATION

AS-BUILT ELEVATIONS ARE SHOWN ON THE PLAN IN LOCATIONS WHERE THE ORIGINAL DESIGN ELEVATION HAS BEEN CROSSED OUT AND THE NEW ELEVATION IS LISTED. ELEVATIONS WERE PROVIDED BY BOHANNAN HUSTON INC., PROFESSIONAL LAND SURVEYOR.

NOTES:

I, JOHN C. ALEXANDER, OF BOHANNAN HUSTON INC., A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE DRAINAGE IMPROVEMENTS HAVE BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED DRAINAGE PLAN, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

JOHN C. ALEXANDER, P.E.
N.M.P.E. NO. 13476

DATE

9-3-8

DATE

9-3-8

DATE

9-3-8

DATE

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BOHANNAN-HUSTON INC.
ENGINEERS - PLANNERS - PHOTOGRAMMETRISTS - SURVEYORS - LANDSCAPE ARCHITECTS
ALBUQUERQUE LAS CRUCES SANTA FE

FINAL GRADING AND DRAINAGE PLAN
SUNPORT AMERISUITES

JOB NO. C9636A242
SCALE 1"=30'
DRAWN BY R.W.B.
CHECKED BY J.C.A.
DATE 2/12/91
SHEET 01

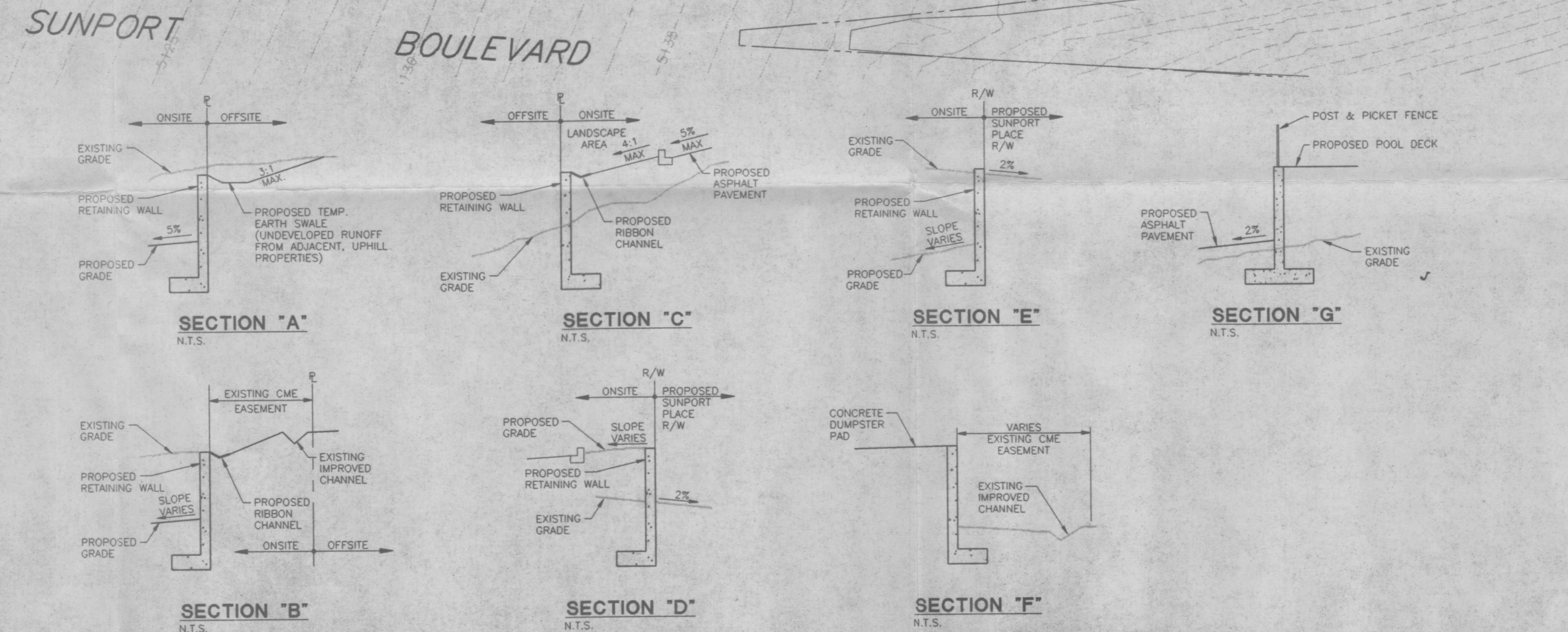
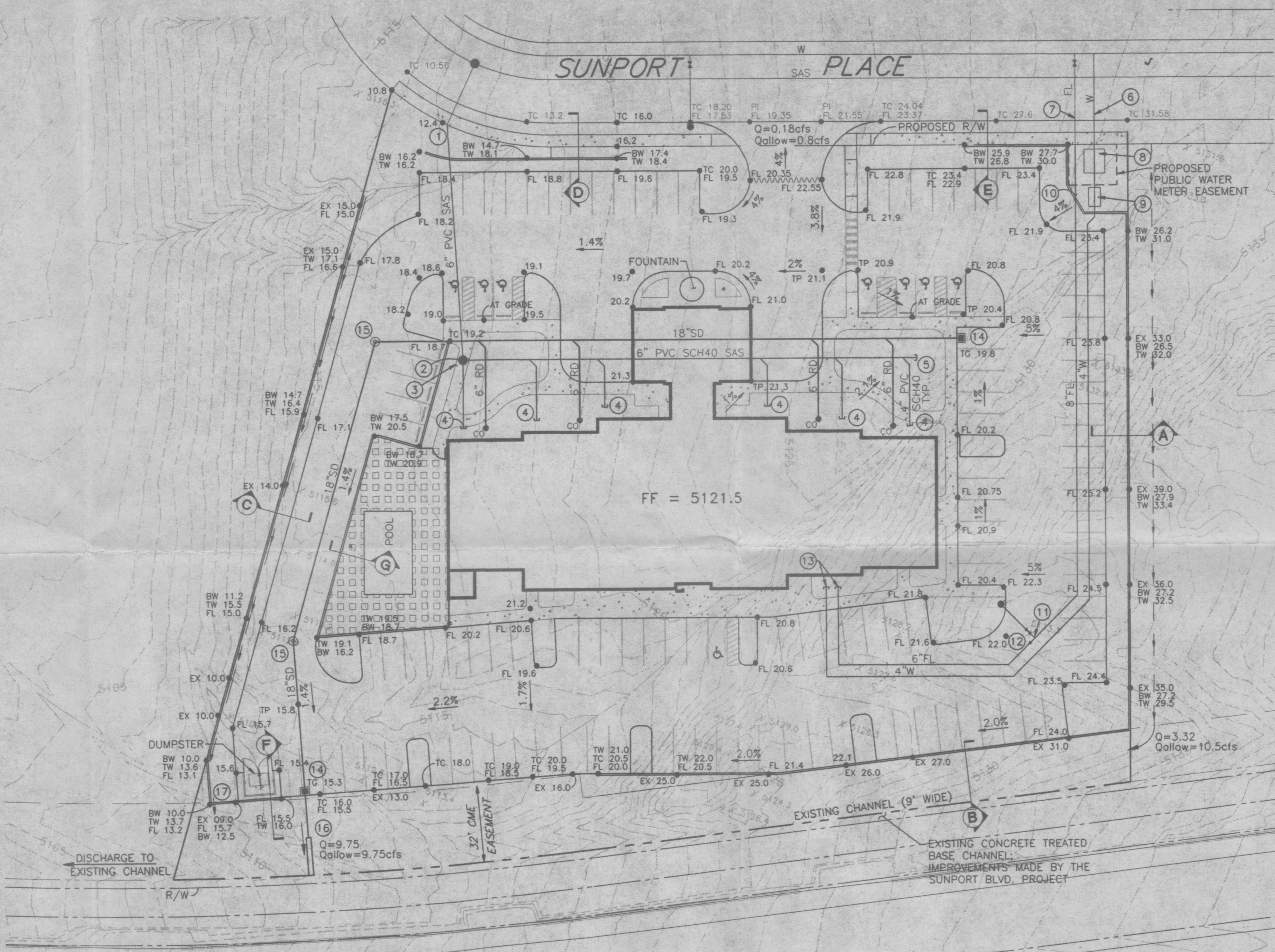
C-1

UTILITY NOTES

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK. ALL FH SHALL BE OPERATING PRIOR TO CONSTRUCTION OF THE PROJECT (UFC 10.403)

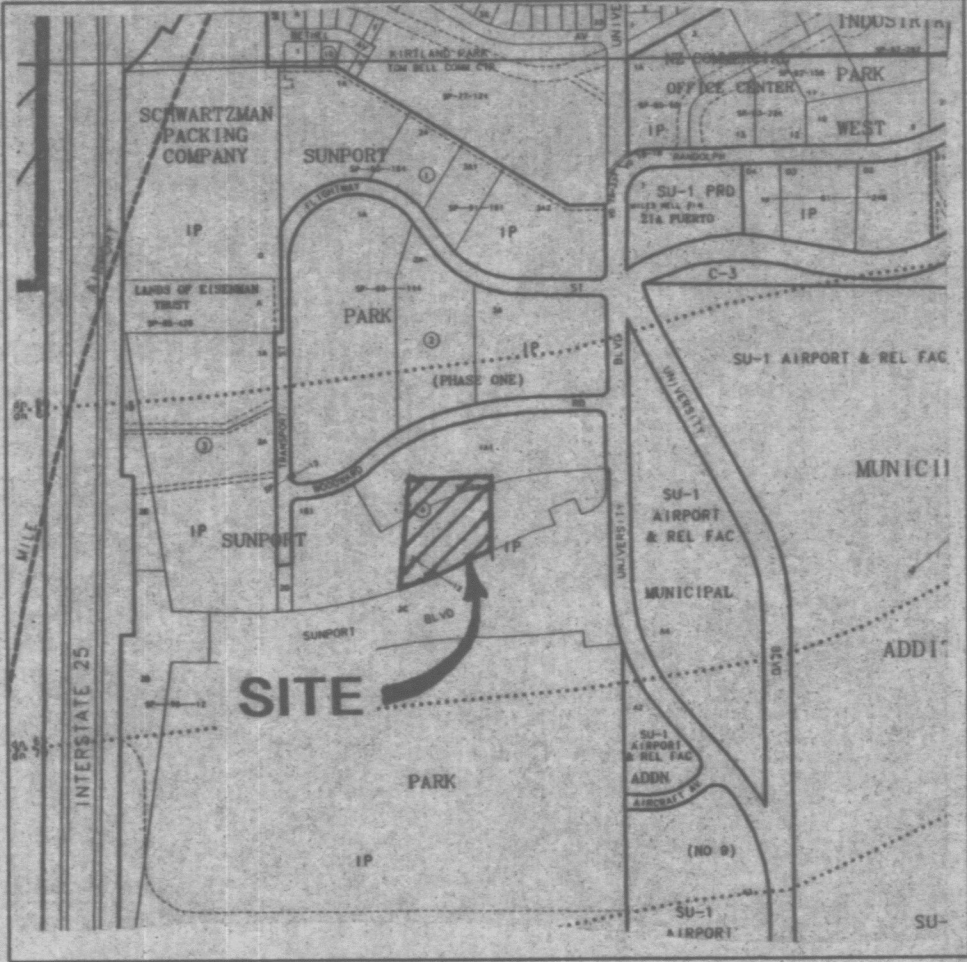
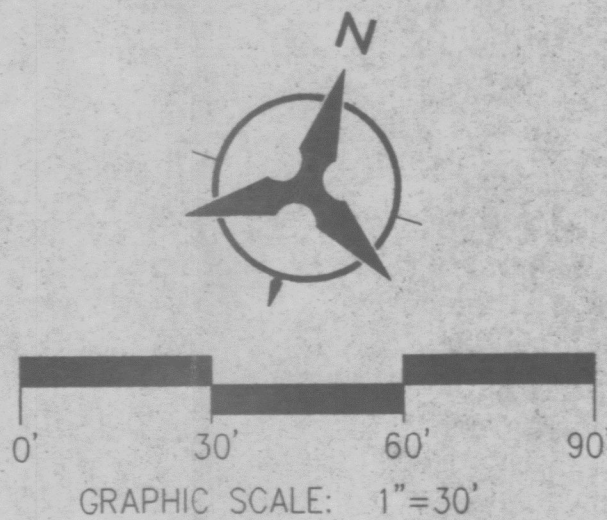
UTILITY PLAN KEYED NOTES

1. CONNECT TO 6" SAS PUBLIC STUB OUT (TO BE BUILT BY OTHERS)
2. INSTALL (1) 4' DIA. TYPE "C" MANHOLE
3. INSTALL (1) 4"x6" WYE AND (1) 4" 45° ELBOW
4. CONNECT TO BUILDING SEWER. VERIFY DEPTH AND LOCATION PRIOR TO EXTENDING SEWER LINE.
5. INSTALL 6" PLUG
6. 4" WATER SERVICE STUB OUT TO BE BUILT BY OTHERS
7. 8" FIRE LINE STUB OUT TO BE BUILT BY OTHERS
8. CONTRACTOR TO COORDINATE WITH CITY OF ALBUQUERQUE FOR INSTALLATION OF A 3" METERED SERVICE. USE TYPE "B" PIT PER COA STD. DWG. 2370
9. REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY EQUAL TO FEBCO 825 WITH (2) CAST IRON GATE VALVES AND (4) TEST COCKS, 3" SIZE. PROVIDE CITY APPROVED HOT BOX WITH INTERNAL HEATER FOR OPERATION WITH 115 VOLTS
10. INSTALL 8" GATE VALVE WITH TYPE "B" BOX & LID PER COA STD. DWG. 2326
11. INSTALL (1) 8"x6" TEE W/ BLOCKING, (1) 6" GATE VALVE WITH TYPE "B" BOX AND LID PER COA STD. DWG. 2326, (1) FIRE HYDRANT 4.5 BURY PER COA STD. DWG. 2340, CONCRETE PAD AROUND FH
12. INSTALL (1) 8"x6" REDUCER
13. CONNECT TO BUILDING STUB OUT. VERIFY DEPTH AND LOCATION PRIOR TO EXTENDING WATER LINE
14. INSTALL 1-SINGLE "D" DROP INLET
15. INSTALL 1-4' DIA. TYPE "C" MANHOLE
16. CONNECTOR PIPE DAYLIGHTS AT PROPOSED LINED RUNDOWN W/ ENERGY DISSIPATORS
17. CUT WALL 1' WIDE TO ALLOW LANDSCAPE AREA RIBBON CHANNEL TO DRAIN TO EXISTING CHANNEL



LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- EXISTING SWALE
- EXISTING SPOT ELEVATION
- EXISTING EASEMENT
- EXISTING SANITARY SEWER
- EXISTING SANITARY SEWER MH
- EXISTING WATER LINE
- EXISTING VALVE
- EXISTING FIRE HYDRANT
- PROPOSED SANITARY SEWER
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- TC=TOP OF CURB, FL=FLOW LINE
- TW=TOP OF WALL, BW=BOTTOM OF WALL
- EX=EXISTING, TP=TOP OF PAVEMENT
- PROPOSED DIRECTION OF FLOW
- KEYED NOTE
- WATER BLOCK



VICINITY MAP
ZONE ATLAS
MAP NO. M-15-Z



FLOOD INSURANCE RATE MAP
COMMUNITY-PANEL NUMBER 350002-0035

LEGAL DESCRIPTION

LOT 3 OF BLOCK 4 OF SUNPORT PARK
ALBUQUERQUE, NEW MEXICO.

DRAINAGE MANAGEMENT PLAN

INTRODUCTION:

THIS PLAN PRESENTS A DRAINAGE MANAGEMENT SCHEME FOR THE PROPOSED DEVELOPMENT OF THE HOTEL BUILDING AND ASSOCIATES PARKING ON A PORTION OF BLOCK 4 OF THE SUNPORT PARK SITE. THIS PARCEL IS LOCATED NORTH OF SUNPORT BOULEVARD, SOUTH OF WOODWARD ROAD, EAST OF TRANSPORT STREET, AND WEST OF UNIVERSITY BOULEVARD. THIS PARCEL IS NOT LOCATED WITHIN A FLOODPLAIN. THIS PLAN IS SUBMITTED FOR HYDROLOGY DIVISION AND DEVELOPMENT REVIEW BOARD REVIEW FOR THE PURPOSE OF OBTAINING SITE DEVELOPMENT PLAN APPROVAL.

PROPOSED CONDITIONS:

THE PROPOSED DEVELOPMENT CONSISTS OF A SIX STORY HOTEL BUILDING WITH ASSOCIATED COMMON AREAS (POOL, HARD SCAPES). THE REMAINDER OF THE PARCEL WILL BE PAVED PARKING AND LANDSCAPING.

MANAGEMENT OF ON-SITE DRAINAGE WILL COMPLY WITH THE APPROVED GRADING AND DRAINAGE PLAN FOR "SUNPORT PARK" GRADING AND DRAINAGE PLAN. DEVELOPED FLOWS NORTH OF THE WATER BLOCK IN THE DRIVEWAY WILL SHEET FLOW TO SUNPORT PLACE RIGHT-OF-WAY. A TOTAL OF 0.13cfs WILL BE DISCHARGED TO THE RIGHT-OF-WAY WHICH COMPLIES WITH THE ALLOWABLE DISCHARGE OF 0.8cfs.

DEVELOPED FLOWS SOUTH OF THE WATER BLOCK IN THE DRIVEWAY WILL BE COLLECTED WITH CATCH BASINS AND TRANSPORTED VIA STORM SEWER TO THE EXISTING LINED ARROYO PARALLEL TO THE SOUTHERN BOUNDARY OF THE SITE. A TOTAL OF 9.75cfs WILL BE DISCHARGED TO THE RIGHT-OF-WAY WHICH COMPLIES WITH THE ALLOWABLE DISCHARGE OF 9.75cfs. COLLECTED RUNOFF WILL ULTIMATELY FLOW INTO THE AMAFCA SOUTH DIVERSION CHANNEL.

PROPOSED DEVELOPED CONDITIONS:

NORTH TO SUNPORT PLACE RIGHT-OF-WAY:

TOTAL AREA=0.057ac
IMPERVIOUS AREA=21.3%
LANDSCAPE AREA=78.7%
 $Q=(4.70cfs/ac)(0.0119ac)+(3.14cfs/ac)(0.0220ac)+(2.28cfs/ac)(0.0220ac)=0.18cfs$

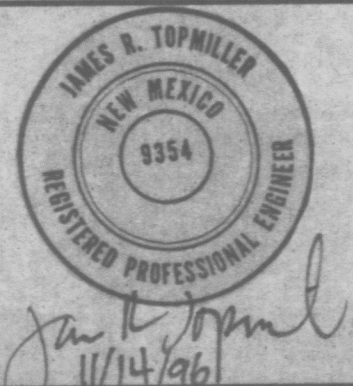
SOUTH TO EXISTING LINED ARROYO:

TOTAL AREA=2.343ac
IMPERVIOUS AREA=72.9%
LANDSCAPE AREA=27.1%
 $Q=(4.70cfs/ac)(1.709ac)+(3.14cfs/ac)(0.317ac)+(2.28cfs/ac)(0.317ac)=9.75cfs$

CONCLUSION:

WITH THE DRAINAGE MANAGEMENT PLAN DESCRIBED ABOVE, WE ARE REQUESTING APPROVAL OF THIS DRAINAGE AND GRADING PLAN FOR THE PURPOSE OF SITE DEVELOPMENT PLAN APPROVAL. WE BELIEVE THE INFORMATION PRESENTED HEREIN TO BE SUFFICIENT FOR THAT REQUEST.

REV.	DATE	DESCRIPTION	BY



RONALD
SCHMIDT &
ASSOCIATES, P.A.
ARCHITECTURE • INTERIOR DESIGN
PLANNING • PROJECT MANAGEMENT

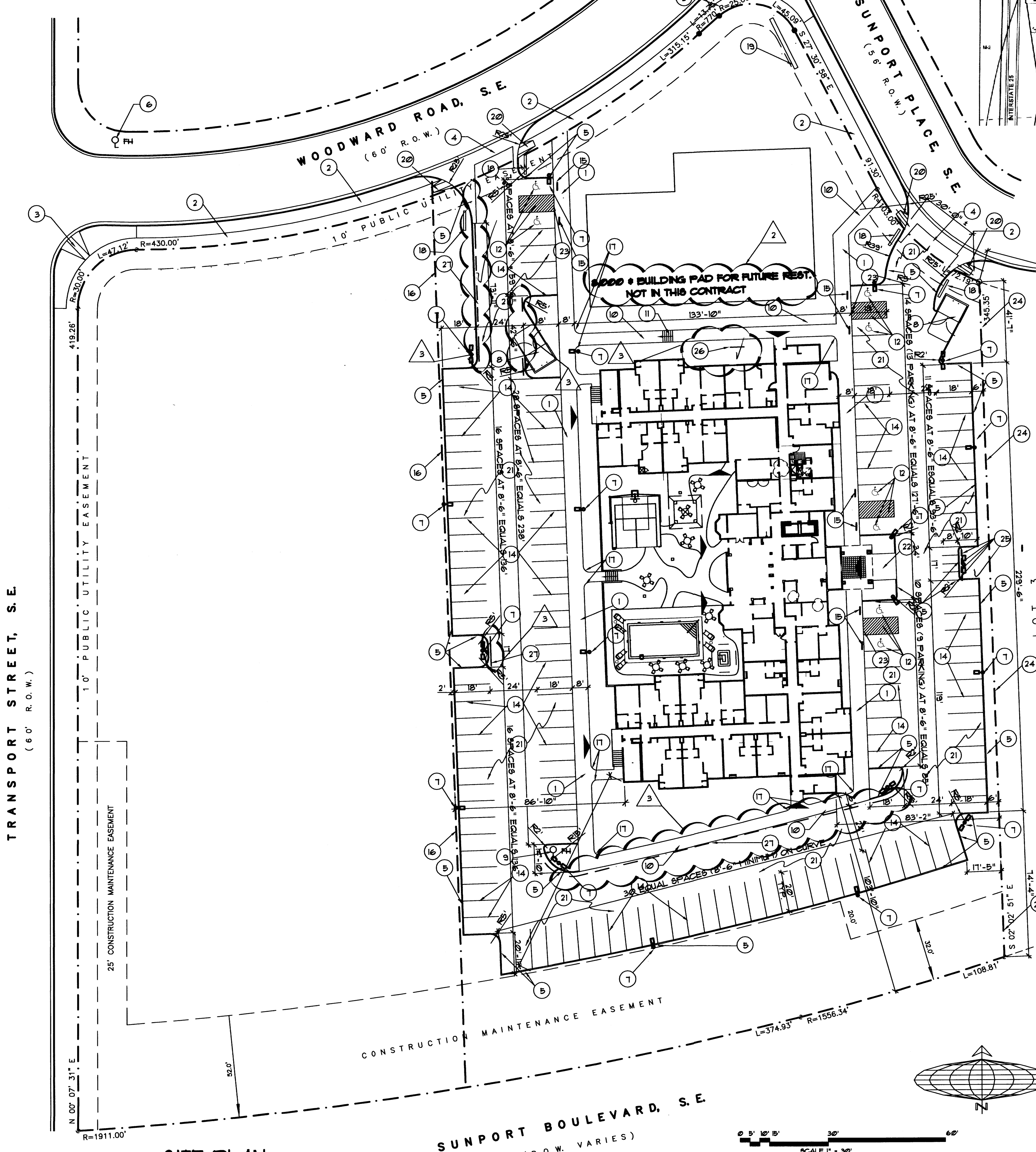
222 Grand Ave, Englewood, NJ 07631 Tel 201-567-5005 Fax 201-567-5773

BOHANNAN-HUSTON INC.
ENGINEERS • PLANNERS • PHOTOGRAMMETRISTS • SURVEYORS • LANDSCAPE ARCHITECTS
ALBUQUERQUE LAS CRUCES SANTA FE
CONCEPTUAL GRADING,
DRAINAGE, AND UTILITY PLAN

JOB NO.	96316	DRAWING NO.	C-2
SCALE	1"=30'	DRAWN BY	R.W.B.
CHECKED	J.C.A.	SHEET	OF
DATE	11/8/96		

PARKING CALCULATIONS

100 GUEST ROOMS - 1 SPACE PER ROOM - 100 SPACES
 RESTAURANT - PAD SITE (8000 SQ. FT. BLDG. AREA) - 800/100 40 SPACES
 TOTAL SPACES REQUIRED 140 SPACES
 TOTAL SPACES PROVIDED 140 SPACES
 INCLUDED HANDICAP SPACES 8 SPACES (ALL VAN ACCESSIBLE)
 MOTORCYCLE SPACES REQUIRED 4 SPACES



SITE PLAN
 SCALE 1" = 30'

VICINITY MAP - MAP - NO. M-15-Z

EASTERN 1/2 LOT 4, BLOCK 4-B
 SUNPORT PARK
 SECTION 33, T. 10 N., R. 3 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 (SUMMARY PLAN WILL BE FILED TO DIVIDE LOT)

- DENOTES ENTRANCE TO BUILDING
- 8'-0" CONCRETE SIDEWALK WHEN ADJACENT TO PARKING.
 - 6'-0" CONCRETE SIDEWALK TO ROW SIDE OF PROPERTY LINE.
 - EXISTING HANDICAP WHEELCHAIR RAMP.
 - REMOVE EXISTING CONCRETE CURB AND GUTTER. INSTALL NEW ENTRANCE AS PER CITY OF ALBUQUERQUE DRAWING NO. 2426.
 - 6" STAND UP CONCRETE HEADER CURB. SEE DETAIL.
 - EXISTING CITY FIRE HYDRANTS.
 - NEW PARKING AND BUILDING AREA LIGHTS. SEE DETAIL.
 - TRASH ENCLOSURE - SEE DETAIL.
 - PROPOSED NEW FIRE HYDRANT PER CITY OF ALBUQUERQUE STANDARDS.
 - 12" CONCRETE WALK.
 - CONCRETE STEPS IN SIDEWALK. REFER TO DRAINAGE PLANS.
 - 3" WIDE BLUE HANDICAP STRIPING.
 - OMITTED -- NOT USED
 - 3" WIDE YELLOW PARKING SPACE STRIPING.
 - 12" X 18" BLUE AND WHITE HANDICAP SIGN ON STEEL POST. 60" TO BOTTOM AFG.
 - NEW PROPERTY LINE ADDED BY SUMMARY PLAT.
 - 36" RADIUS AT SIDEWALK INTERSECTIONS OR CHANGE OF DIRECTIONS.
 - ENTRANCE AND EXIT SIGNS. 24" H X 48" W X 36" H. (NON-ILLUMINATED)
 - ILLUMINATED SITE SIGN. SEE DETAIL.
 - INSTALL NEW HANDICAP RAMP FOR WHEELCHAIR ACCESS.
 - ASPHALT PAVING PER CITY OF ALBUQUERQUE SPEC.
 - 12" WIDE CONCRETE SIDEWALK (COLORED-PATTERNED CONCRETE).
 - ASPHALT AND CONCRETE SIDEWALK FLUSH. NO HANDICAP RAMP REQUIRED.
 - EXISTING RETAINER WALL W/ 42" PIPE RAILING ABOVE. APPROX 7'-0" AFG. NEW 48" HIGH RETAINER WALL PER DRAINAGE PLANS.
 - 12" X 18" MOTORCYCLE SPACE SIGN MOUNTED SAME AS HANDICAP SIGN. REFER TO DETAIL ON ELEMENT DETAILS SHEET.
 - BIKE RACK FOR 1 BIKES. REFER TO DETAIL SHEET C23
 - FIRE LANE. PAINT CURBS RED AND LABEL WITH 4" HIGH LETTERING. "NO PARKING--FIRE LANE". DENOTED

DEVELOPMENT WITHIN CITY-DESIGNATED LANDFILL BUFFER ZONES..

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

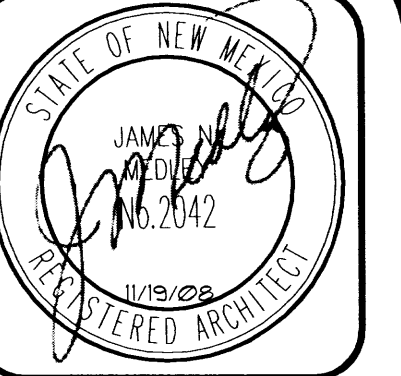
A. AS PER VINYARD & ASSOC. JOB NO 25-1-453, DATED JANUARY 6, 2006 AND REVISED BY LETTER DATED AUGUST 11, 2006, THE FOLLOWING SHALL BE DONE TO ACCOMMODATE THEIR RECOMMENDATIONS: VINYARD & ASSOC. RECOMMENDS THAT UTILITY TRENCH VENTING BARRIERS SHALL CONSIST OF 2-4 FOOT LONG, ROUNDED (NOT CRUSHED) 15 INCH DIAMETER GRAVEL PLUG THAT EXTENDS THE FULL HEIGHT AND THE FULL WIDTH OF THE UTILITY TRENCH. 1-OUNCE NON-WOVEN FILTER FABRIC SHOULD BE PLACED OVER THE GRAVEL. LANDSCAPING MATERIAL (GRAVEL, BARK, ETC.) SHOULD BE PLACED OVER THE FILTER FABRIC. A 2" DIAMETER PERFORATED VENT PIPE (PVC OR METAL) SHALL EXTEND TO THE MID-POINT OF THE GRAVEL. PERFORATIONS SHALL BE 1/2" DIAMETER (MAXIMUM) ON 12" CENTERS ALL AROUND THE PIPE. ABOVE GROUND, THE VENT PIPE SHALL BE METAL OR UV RESISTANT PVC. THE TWO VENTING AREAS IN PERIMETER LANDSCAPING ARE CONSIDERED TO PRESENT A LOW POTENTIAL FOR PEDESTRIAN EXPOSURE. THEREFORE, THE VENT PIPES SHALL TERMINATE IN GOOSENECKS. THE GOOSENECK PIPE OPENINGS SHOULD BE COVERED WITH SCREEN AND OPEN BETWEEN 1-3 FEET ABOVE THE GROUND. UTILITY PENETRATIONS AND CRACKS THROUGH THE BUILDING SLAB SHOULD BE SEALED WITH NON-HARDENING CAULK. SECONDARY UTILITIES (SUCH AS ELECTRIC LINES TO SIGNS, LIGHT POLES AND SIGN POSTS, ETC.) DO NOT NEED TO BE VENTED.

THE SLABS SHALL BE UNDERLAIN BY A 20 MIL PLASTIC BARRIER. THE BARRIER SHOULD BE ATTACHED TO THE CONCRETE STEPS/WALLS USING AN APPROPRIATE ADHESIVE. ALL UTILITY PENETRATIONS THROUGH THE PLASTIC BARRIER AND THE CONCRETE SLABS SHALL BE CAREFULLY SEALED. IF DESIRED 2" OF CLEAN SAND MAY BE PLACED OVER THE PLASTIC BARRIER TO AID SLAB CURING. 8" OF CLEAN 15" DIAMETER ROUNDED GRAVEL SHOULD BE PLACED BELOW THE PLASTIC BARRIER. A SYSTEM OF 4" DIAMETER SCHEDULE 80 PERFORATED PVC PIPE SHOULD BE PLACED AT THE MID-POINT OF THE GRAVEL LAYER. THE PVC SHOULD BE PERFORATED WITH MINIMUM RADIAL SPACING OF 120" WITH 1/2" DIAMETER HOLES AT NO MORE THAN 12" ON CENTERS. THE 4" PVC PIPE SHOULD BE SPACED AT NO MORE THAN 50'-0" ON CENTERS. INLETS SHOULD BE PLACED OUTSIDE OF THE BUILDING IN A LANDSCAPED AREAS AT LEAST 25 FEET AWAY FROM ANY OF THE BUILDING'S AIR INTAKES. THE INLET TO THE PERFORATED PIPE SYSTEM SHOULD CONSIST OF A GOOSENECK PIPE WITH AN OPENING BETWEEN 1-3 FEET ABOVE THE GROUND. PIPE EXPOSED ABOVE THE GROUND SHOULD BE GALVANIZED METAL. THE INLET SHOULD BE COVERED WITH WIRE SCREEN TO PREVENT RODENTS FROM ENTERING THE PERFORATED PIPE SYSTEM. THE 4" DIAMETER PVC PIPES BENEATH THE SLABS SHOULD BE MANIFOLDED TOGETHER. THE PERFORATED PIPE SYSTEM SHOULD BE CONNECTED VERTICAL RISERS THROUGH WALLS OF THE BUILDING THAT VENT TO THE ATMOSPHERE AT LEAST 2' ABOVE THE ROOF OF THE BUILDING. OUTLET PIPE THAT IS EXPOSED ABOVE THE ROOF SHOULD BE GALVANIZED METAL. PASSIVE WIND TURBINES SHOULD BE ATTACHED TO THE TOPS OF THE EXHAUST PIP

LANDFILL GAS EXHAUST VENTS ABOVE THE BUILDING SHALL BE A MINIMUM OF 25' FROM ANY AIR INTAKE SYSTEM.

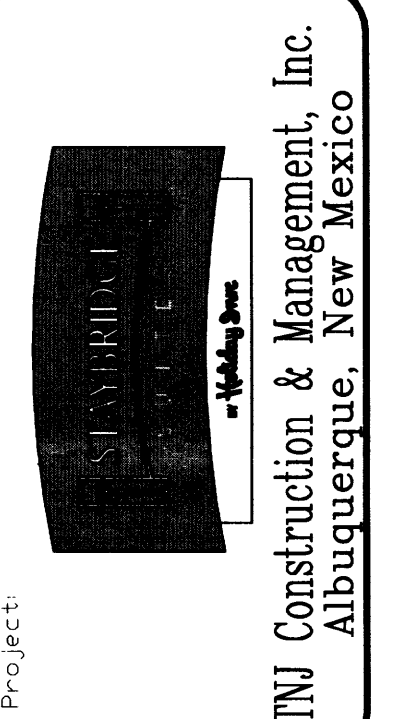
IF ANY SUBSURFACE DEBRIS IS ENCOUNTERED DURING DEVELOPMENT OF THE SITE, IT SHOULD BE REMOVED TO THE DEPTH OF NATIVE GROUND.

CONSTRUCTION OF THE VENTING BARRIERS, THE VENTING SYSTEM UNDERNEATH THE SLABS, AND THE MEMBRANE SHOULD BE DOCUMENTED BY PHOTOGRAPHING, INSPECTION AND PHOTOGRAPHING OF THE METHANE ENGINEERING CONTROLS CAN BE PROVIDED BY VINYARD & ASSOCIATES AT A CHARGE. UPON COMPLETION OF PROJECT PROVIDE A LETTER CERTIFYING THAT THE LANDFILL GAS BARRIERS WERE CONSTRUCTED ACCORDING TO RECOMMENDATION BY A QUALIFIED ENVIRONMENTAL ENGINEER SUCH AS VINYARD & ASSOCIATES, INC.



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Plan No.	Date	Drawn by	Checked by
	November 06	JMT	



No.	Revision / Issue	Date
1	COA PLAN REVIEW	06/01/07
2	CHANGES AFTER INTERA LETTER OF 1/27/07	02/28/07
3	FRANCHISE REVIEW	1/18/07

SITE PLAN

Sheet:
C1.1

UTILITY NOTES

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.

2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.

3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.

4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT AND/OR SIDEWALK, AS APPLICABLE.

5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.

6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.

7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.

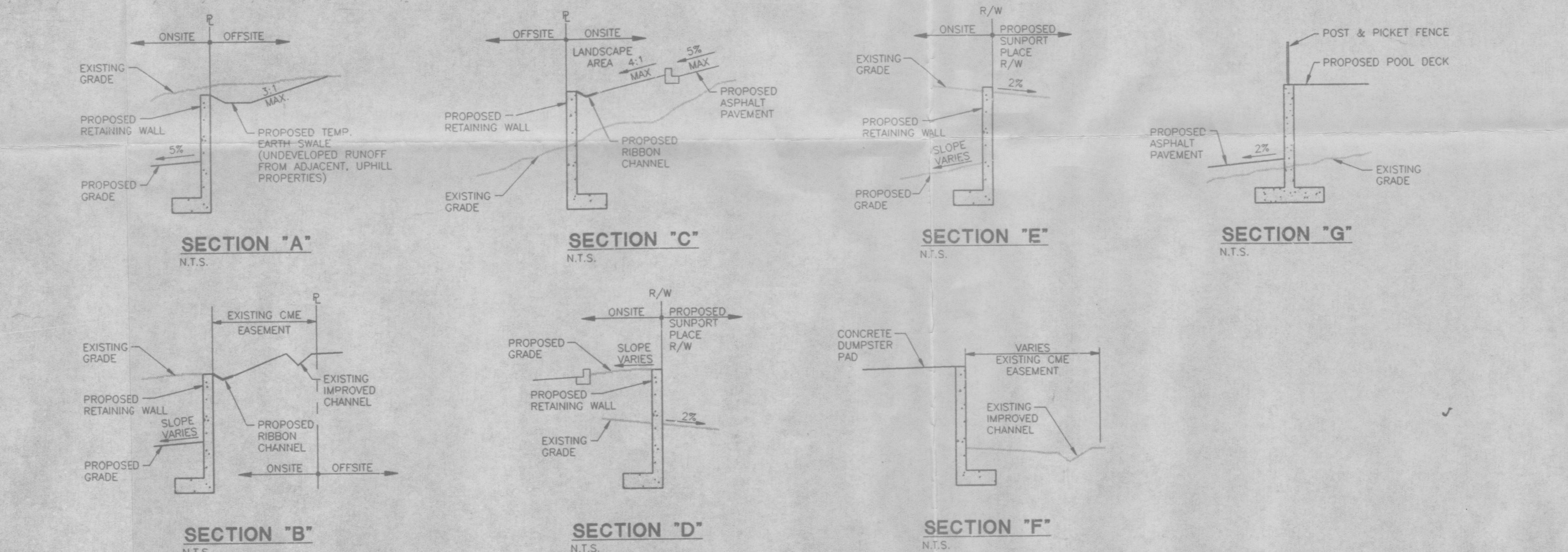
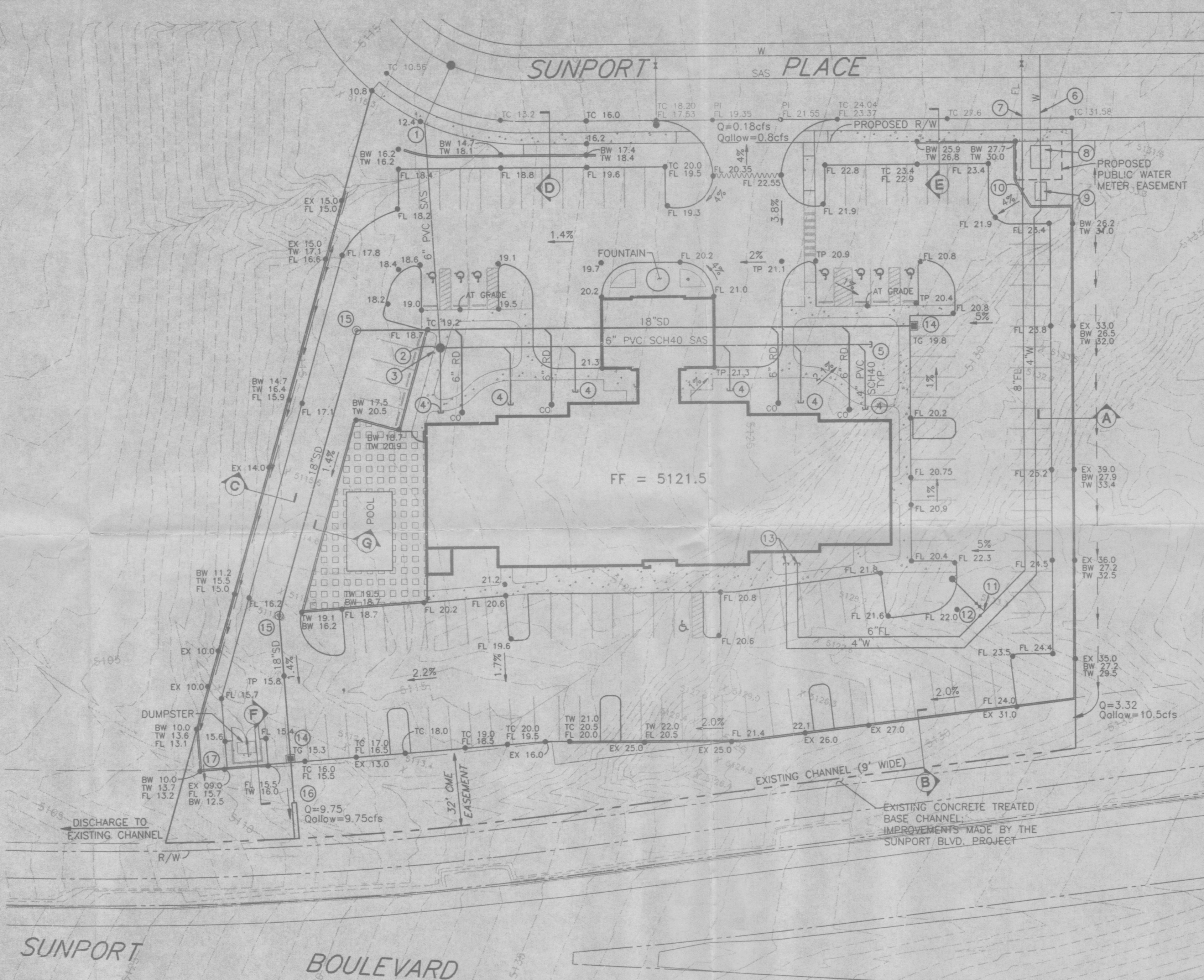
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.

9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.

10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK. ALL FH SHALL BE OPERATING PRIOR TO CONSTRUCTION OF THE PROJECT (UFC 10.403)

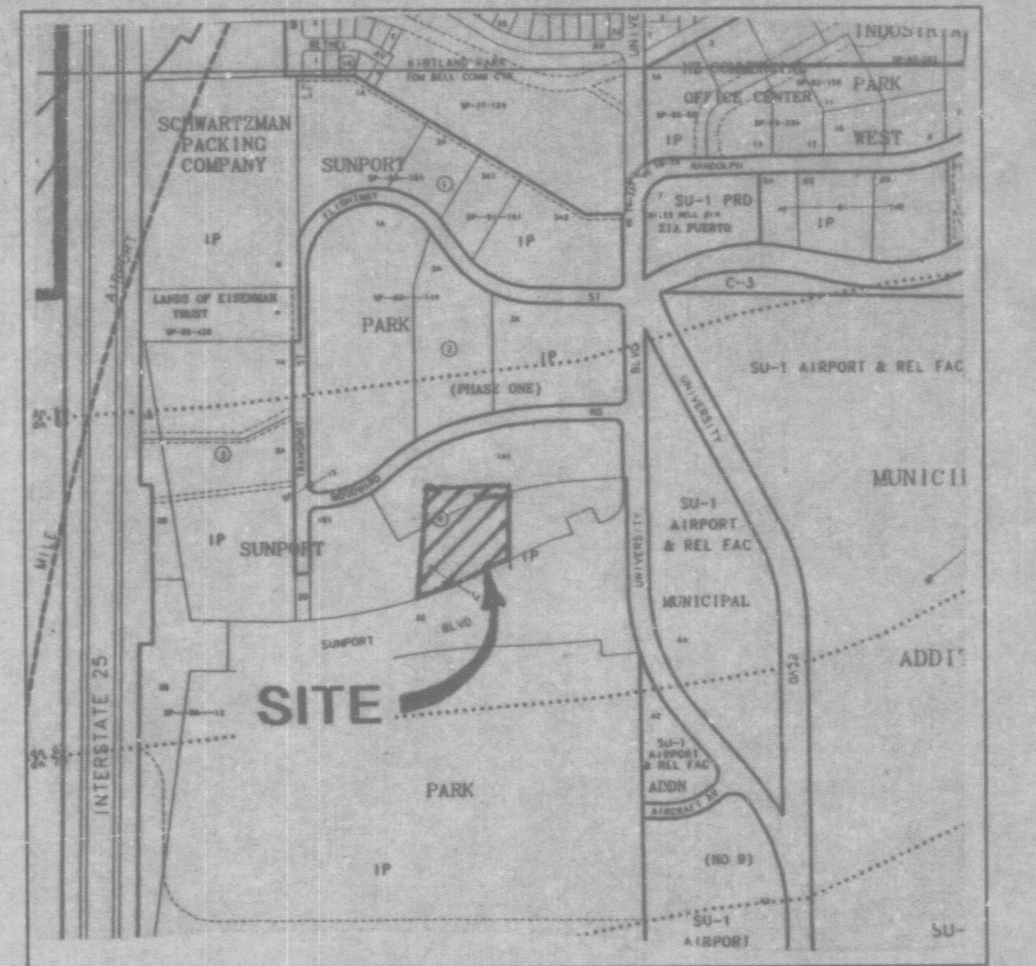
UTILITY PLAN KEYED NOTES

- ① CONNECT TO 6" SAS PUBLIC STUB OUT (TO BE BUILT BY OTHERS)
- ② INSTALL (1) 4" DIA. TYPE "C" MANHOLE
- ③ INSTALL (1) 4"x6" WYE AND (1) 4" 45° ELBOW
- ④ CONNECT TO BUILDING SEWER. VERIFY DEPTH AND LOCATION PRIOR TO EXTENDING SEWER LINE.
- ⑤ INSTALL 6" PLUG
- ⑥ 4" WATER SERVICE STUB OUT TO BE BUILT BY OTHERS
- ⑦ 8" FIRE LINE STUB OUT TO BE BUILT BY OTHERS
- ⑧ CONTRACTOR TO COORDINATE WITH CITY OF ALBUQUERQUE FOR INSTALLATION OF A 3" METERED SERVICE. USE TYPE "B" PIT PER COA STD. DWG. 2370
- ⑨ REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY EQUAL TO FEBCO 825 WITH (2) CAST IRON GATE VALVES AND (4) TEST COCKS, 3" SIZE. PROVIDE CITY APPROVED HOT BOX WITH INTERNAL HEATER FOR OPERATION WITH 115 VOLTS
- ⑩ INSTALL 8" GATE VALVE WITH TYPE "B" BOX & LID PER COA STD. DWG. 2326
- ⑪ INSTALL (1) 8"x6" TEE W/ BLOCKING, (1) 6" GATE VALVE WITH TYPE "B" BOX AND LID PER COA STD. DWG. 2326, (1) FIRE HYDRANT 4.5 BURY PER COA STD. DWG. 2340, CONCRETE PAD AROUND FH
- ⑫ INSTALL (1) 8"x6" REDUCER
- ⑬ CONNECT TO BUILDING STUB OUT. VERIFY DEPTH AND LOCATION PRIOR TO EXTENDING WATER LINE
- ⑭ INSTALL 1-SINGLE "D" DROP INLET
- ⑮ INSTALL 1-4" DIA. TYPE "C" MANHOLE
- ⑯ CONNECTOR PIPE DAYLIGHTS AT PROPOSED LINED RUNDOWN W/ ENERGY DISSIPATORS
- ⑰ CUT WALL 1' WIDE TO ALLOW LANDSCAPE AREA RIBBON CHANNEL TO DRAIN TO EXISTING CHANNEL



LEGEND

- PROPERTY LINE
- - - - - EXISTING CONTOUR
- - - - - EXISTING SWALE
- X 5112.9 EXISTING SPOT ELEVATION
- - - - - EXISTING EASEMENT
- - - - - SAS
- EXISTING SANITARY SEWER
- EXISTING SANITARY SEWER MH
- - - - - EXISTING WATER LINE
- - - - - EXISTING VALVE
- - - - - EXISTING FIRE HYDRANT
- - - - - SAS
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY SEWER MH
- - - - - W
- PROPOSED WATER LINE
- - - - - VALVE
- PROPOSED VALVE
- - - - - FL
- PROPOSED FIRE LINE
- PROPOSED HYDRANT
- PROPOSED UTILITY CAP
- - - - - SD
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN MH
- PROPOSED CLEANOUT (CO)
- PROPOSED STORM DRAIN INLET
- PROPOSED SPOT ELEVATION
- TC=TOP OF CURB, FL=FLOW LINE
- TW=TOP OF WALL, BW=BOTTOM OF WALL
- EX=EXISTING, TP=TOP OF PAVEMENT
- PROPOSED DIRECTION OF FLOW
- ① KEYED NOTE
- ~~~~~ WATER BLOCK



VICINITY MAP
ZONE ATLAS
MAP NO. M-15-Z



FLOOD INSURANCE RATE MAP
COMMUNITY-PANEL NUMBER 350002-0035

LEGAL DESCRIPTION

LOT 3 OF BLOCK 4 OF SUNPORT PARK
ALBUQUERQUE, NEW MEXICO.

DRAINAGE MANAGEMENT PLAN

INTRODUCTION:

THIS PLAN PRESENTS A DRAINAGE MANAGEMENT SCHEME FOR THE PROPOSED DEVELOPMENT OF THE HOTEL BUILDING AND ASSOCIATED PARKING ON A PORTION OF BLOCK 4 OF THE SUNPORT PARK SITE. THIS PARCEL IS LOCATED NORTH OF SUNPORT BOULEVARD, SOUTH OF WOODWARD ROAD, EAST OF TRANSPORT STREET, AND WEST OF UNIVERSITY BOULEVARD. THIS PARCEL IS NOT LOCATED WITHIN A FLOODPLAIN. THIS PLAN IS SUBMITTED FOR HYDROLOGIC DIVISION AND DEVELOPMENT REVIEW BOARD REVIEW FOR THE PURPOSE OF OBTAINING SITE DEVELOPMENT PLAN APPROVAL.

PROPOSED CONDITIONS:

THE PROPOSED DEVELOPMENT CONSISTS OF A SIX STORY HOTEL BUILDING WITH ASSOCIATED COMMON AREAS (POOL, HARD SCAPES). THE REMAINDER OF THE PARCEL WILL BE PAVED PARKING AND LANDSCAPING.

MANAGEMENT OF ON-SITE DRAINAGE WILL COMPLY WITH THE APPROVED GRADING AND DRAINAGE PLAN FOR "SUNPORT PARK" GRADING AND DRAINAGE PLAN. DEVELOPED FLOWS NORTH OF THE WATER BLOCK IN THE DRIVEWAY WILL SHEET FLOW TO SUNPORT PLACE RIGHT-OF-WAY. A TOTAL OF 0.13cfs WILL BE DISCHARGED TO THE RIGHT-OF-WAY WHICH COMPLIES WITH THE ALLOWABLE DISCHARGE OF 0.8cfs.

DEVELOPED FLOWS SOUTH OF THE WATER BLOCK IN THE DRIVEWAY WILL BE COLLECTED WITH CATCH BASINS AND TRANSPORTED VIA STORM SEWER TO THE EXISTING LINED ARROYO PARALLEL TO THE SOUTHERN BOUNDARY OF THE SITE. A TOTAL OF 9.75cfs WILL BE DISCHARGED TO THE RIGHT-OF-WAY WHICH COMPLIES WITH THE ALLOWABLE DISCHARGE OF 9.75cfs. COLLECTED RUNOFF WILL ULTIMATELY FLOW INTO THE AMFCA SOUTH DIVERSION CHANNEL.

PROPOSED DEVELOPED CONDITIONS:

NORTH TO SUNPORT PLACE RIGHT-OF-WAY:
TOTAL AREA=0.057ac
IMPERVIOUS AREA=21.3%
LANDSCAPE AREA=78.7%
 $Q=(4.70cfs/ac)(0.0119ac)+(3.14cfs/ac)(0.0220ac)+(2.28cfs/ac)(0.0220ac)=0.18cfs$

SOUTH TO EXISTING LINED ARROYO:
TOTAL AREA=2.343ac
IMPERVIOUS AREA=72.9%
LANDSCAPE AREA=27.1%
 $Q=(4.70cfs/ac)(1.709ac)+(3.14cfs/ac)(0.317ac)+(2.28cfs/ac)(0.317ac)=9.75cfs$

CONCLUSION:

WITH THE DRAINAGE MANAGEMENT PLAN DESCRIBED ABOVE, WE ARE REQUESTING APPROVAL OF THIS DRAINAGE AND GRADING PLAN FOR THE PURPOSE OF SITE DEVELOPMENT PLAN APPROVAL. WE BELIEVE THE INFORMATION PRESENTED HEREIN TO BE SUFFICIENT FOR THAT REQUEST.

<p>REV. DATE DESCRIPTION BY</p>	<p>11/14/96</p>	<p>AMERISUITES</p>	<p>RONALD SCHMIDT & ASSOCIATES, P.A. ARCHITECTURE • INTERIOR DESIGN PLANNING • PROJECT MANAGEMENT 222 Grand Ave, Englewood, NJ 07631 Tel 201-567-5005 Fax 201-567-5773</p>	<p>BOHANNAN-HUSTON INC. ENGINEERS • PLANNERS • PHOTOGRAMMETRISTS • SURVEYORS • LANDSCAPE ARCHITECTS ALBUQUERQUE LAS CRUCES SANTA FE</p> <p>CONCEPTUAL GRADING, DRAINAGE, AND UTILITY PLAN</p>	<p>JOB NO. 96316 SCALE 1"=30' DRAWN BY R.W.B. CHECKED J.C.A. DATE 11/8/96</p> <p>DRAWING NO. C-2 SHEET OF</p>
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